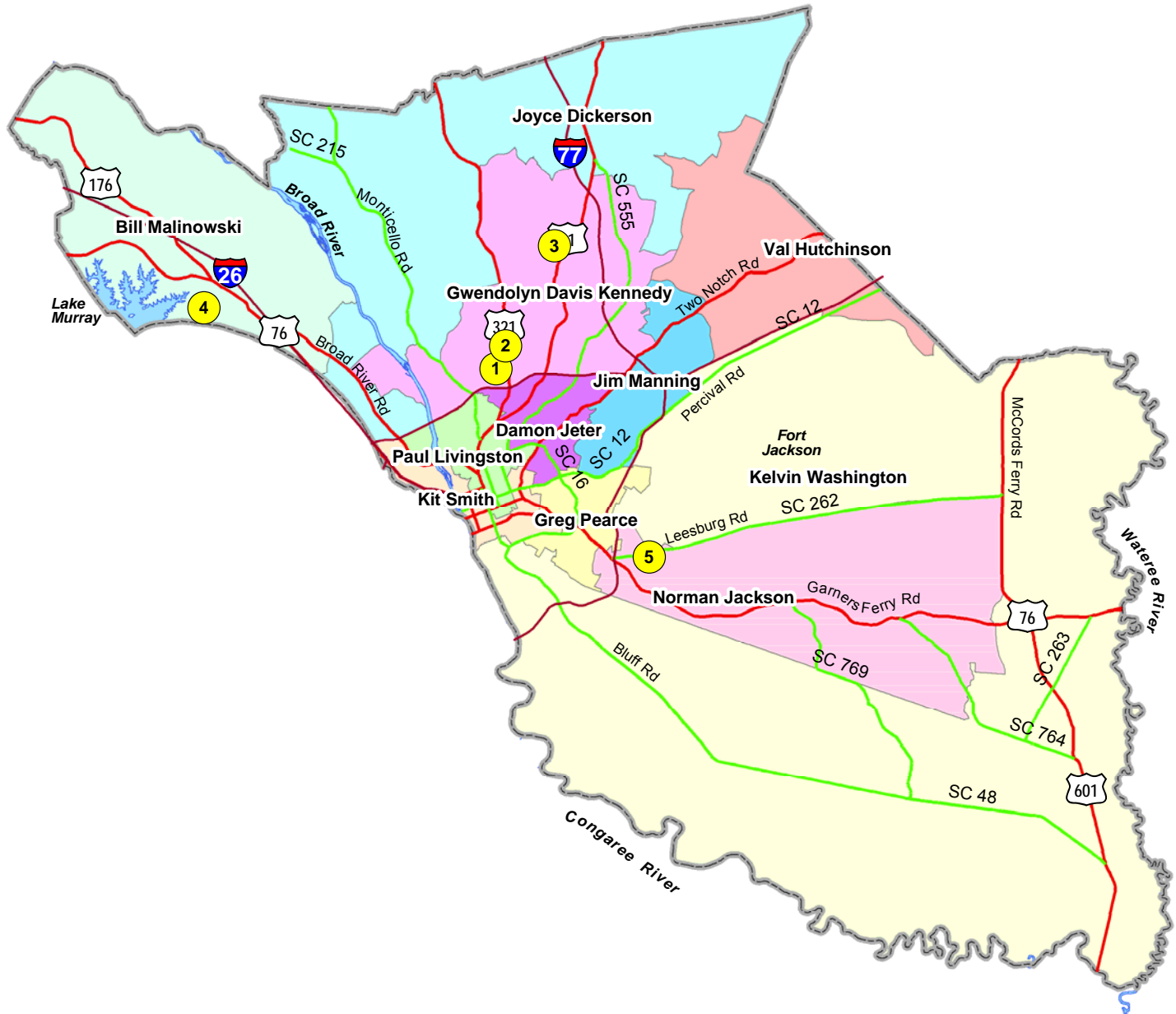


RICHLAND COUNTY
BOARD OF
ZONING APPEALS



Wednesday, 4 February 2009
1:00 p.m.
Council Chambers

RICHLAND COUNTY BOARD OF ZONING APPEALS FEBRUARY 4, 2009



CASE NO.	APPLICANT	TMS NO.	LOCATION	DISTRICT
1. 08-63 SE	Leroy Jenkins	11808-01-13	Old Fairfield Rd., Columbia	Kennedy
2. 08-64 SE	Leroy Jenkins	11808-01-12	Old Fairfield Rd., Columbia	Kennedy
3. 09-01 V	Identiti Resources	17400-11-03	331 Killian Rd., Columbia	Kennedy
4. 09-05 SE	Sequoia Wireless	03207-02-02	Farming Creek Rd., Irmo	Malinowski
5. 09-06 SE	Optima Towers	19203-14-11	Leesburg Rd., Columbia	Jackson



Richland County
Board of Zoning Appeals
Wednesday, 4 February 2009
2020 Hampton Street
2nd Floor, Council Chambers

Agenda

- I. CALL TO ORDER & RECOGNITION OF QUORUM Joshua McDuffie,
Chairman
- II. RULES OF ORDER Amelia Linder,
Attorney
- III. APPROVAL OF MINUTES – January 2009
- IV. PUBLIC HEARING Geonard Price,
Zoning Administrator

OPEN PUBLIC HEARING

08-63 SE Requests a special exception to place a manufactured
Leroy Jenkins home on property zoned M-1. (Light Industrial
Old Fairfield Rd.
Columbia, SC
11808-01-13 P. 01

08-64 SE Requests a special exception to place a manufactured
Leroy Jenkins home on property zoned M-1. (Light Industrial
Old Fairfield Rd.
Columbia, SC
11808-01-12 P. 05

09-01 V Requests a sign variance on property zoned GC.
Identiti Resources (General Commercial)
331 Killian Rd.
Columbia, SC
17400-11-03 P. 09

09-05 SE Special Exception to place a cell tower on property
Sequoia Wireless zoned GC (General Commercial).
Farming Creek Rd.
Irmo, SC 29063
03207-02-02 P. 19

09-06 SE Special Exception to place a cell tower on property
Optima Towers zoned RU (Rural).
Leesburg Rd.
Columbia, SC 29209
19203-14-11 P. 41

- V. OTHER BUSINESS - Reconsideration of case 09-04 V
- IV. ADJOURNMENT



4 February 2009
Board of Zoning Appeals

REQUEST, ANALYSIS AND RECOMMENDATION

08 - 63 Special Exception

REQUEST

The applicant is requesting the Board of Zoning Appeals to establish a manufactured home on property zoned M-1 (Light Industrial).

GENERAL INFORMATION

Applicant

Leroy Jenkins

Tax Map Number

11808-01-12

Location

Old Fairfield Road

Parcel Size

.45 -acre tract

Existing Land Use

vacant

Existing Status of the Property

The subject parcel is undeveloped and heavily wooded.

Proposed Status of the Property

The applicant proposes to place a manufactured home.

Character of the Area

The surrounding area is comprised of undeveloped, heavily wooded parcels.

ZONING ORDINANCE CITATION

Table 20-V-2 of the Land Development Code authorizes the Board of Zoning Appeals to authorize manufactured homes subject to the standards of section 26-152 (d) (13).

CRITERIA FOR SPECIAL EXCEPTIONS

In addition to definitive standards in this chapter, the Board shall consider the following:

1. **Traffic impact.**
2. **Vehicle and pedestrian safety.**
3. **Potential impact of noise, lights, fumes or obstruction of airflow on adjoining property.**
4. **Adverse impact of the proposed use on the aesthetic character of the environs, to include possible need for screening from view.**
5. **Orientation and spacing of improvements or buildings.**

DISCUSSION

Staff visited the site.

The applicant is requesting to establish a manufactured home.

In addition to receiving approval from the Board of Zoning appeals for the establishment of this use, the applicant may need approval for a septic tank from the South Carolina Department of Health and Environmental Control.

CONDITIONS

In granting a special exception, the board of zoning appeals may prescribe conditions and safeguards in addition to those spelled out in this chapter. The board of zoning appeals may also prescribe a time limit within which the special exception shall be begun or completed, or both. All conditions placed on the project by the board of zoning appeals shall be incorporated into such project.

OTHER RELEVANT SECTIONS

(13) *Dwellings, Manufactured Homes on Individual Lots.*

- a. Use districts: M-1 Light Industrial.
- b. Manufactured homes must meet the standards set by the Federal Manufactured Housing Construction and Safety Standards Act of 1974 (which became effective June 15, 1976), as revised and in effect on the date the application is made for a land development permit.
- c. The tongue, axles, transporting lights, and removable towing apparatus must be removed subsequent to final placement.
- d. Manufactured home skirting or a continuous, permanent masonry foundation, unpierced except for openings required by the building code for ventilation, utilities and access, shall be installed under the manufactured home.

ATTACHMENTS

- Plat

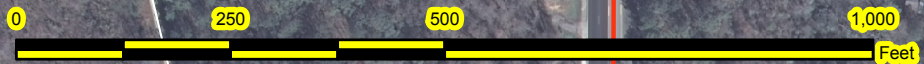
CASE HISTORY

No record of previous special exception or variance request.

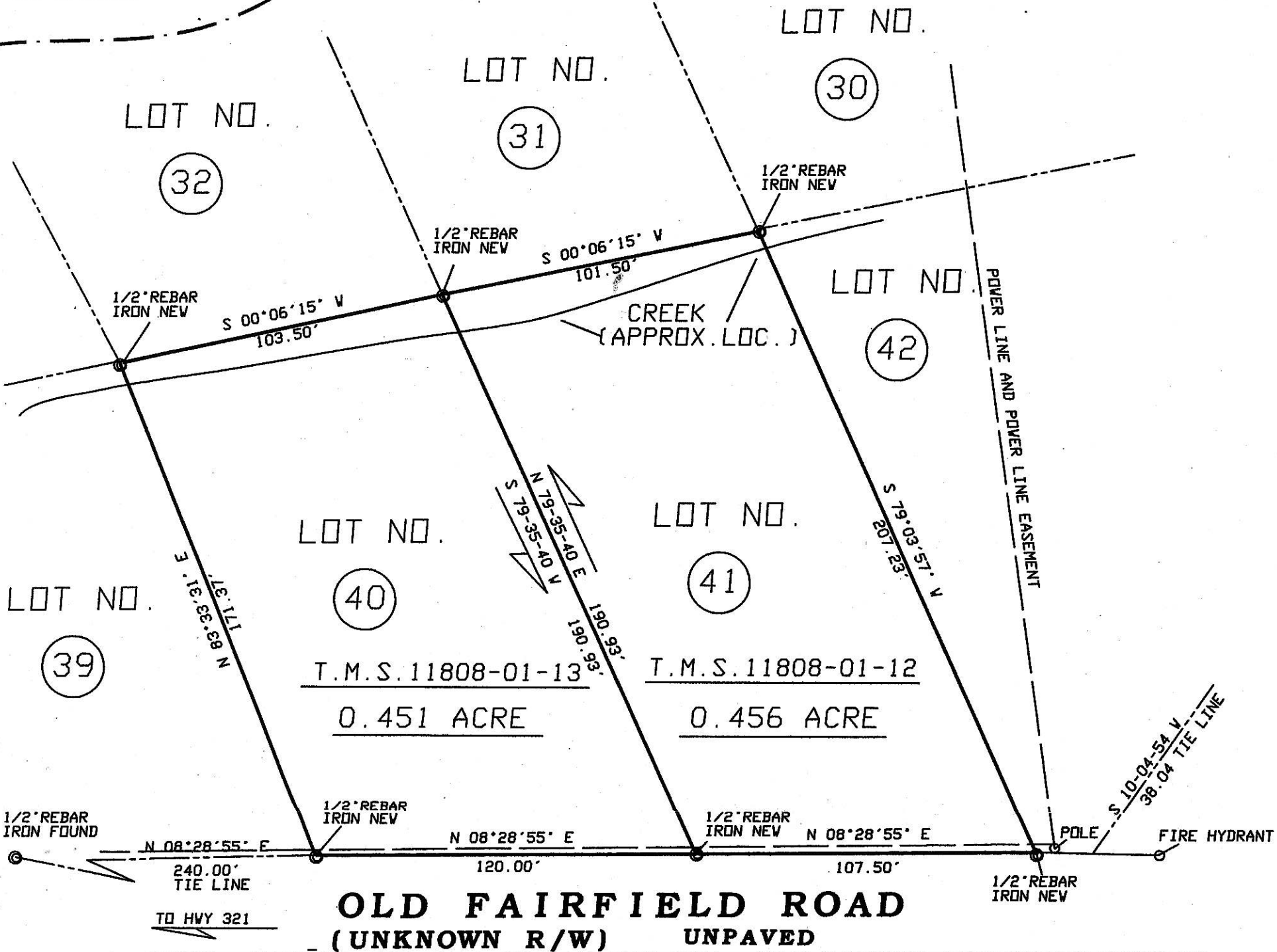
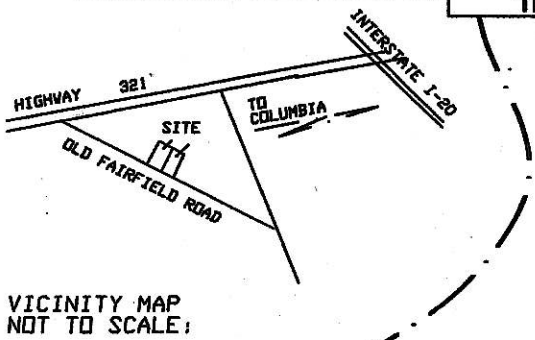
CASE 08-63 SE
LEROY JENKINS
TMS 11808-01-13



-  FLOOD ZONE A
-  FLOOD ZONE AE
-  WETLANDS



THIS IS TO CERTIFY THAT I HAVE CONSULTED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP AND FOUND THAT THE DESCRIBED PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA.



Book 1274-301
 2007005255 01/18/2007 16:42:44:313 Plat Overized
 Fee:\$10.00 County Tax:\$0.00 State Tax:\$0.00
 2007005255 John G. Norris Richland County ROD

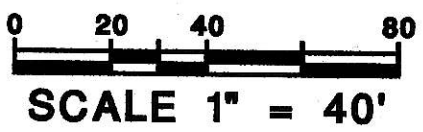
Plat Prepared For
LEROY M. JENKINS

LOCATED IN RICHLAND COUNTY, NEAR THE CITY OF COLUMBIA, S.C.

THE SAME BEING DESIGNATED AS LOT NO.40 AND LOT NO.41 ON A PLAT OF CRANE CREEK LOTS SURVEYED FOR SIMON FAUST BY JAS.C.COVINGTON,C.E DATED AUGUST 27,1942 AND RECORDED IN THE OFFICE OF THE REGISTER DEEDS FOR RICHLAND COUNTY IN PLAT BOOK J AT PAGE 53 DEED BOOK REFERENCE D23 AT PAGE 48 TAX MAP REFERENCE # R1808-01-2 AND R1808-01-3

DECEMBER 15, 2006

"I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS (B) SURVEY AS SPECIFIED THEREIN AND THAT THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN." RATIO OF PRECISION BETTER THAN 1/8000.



BY: *Donald G. Platt*
Donald G. Platt
 R.L.S. No. 4778

PN833

341 GLENN ROAD - WEST COLUMBIA, SC 29169 - PHONE (803) 796-5384



4 February 2009
Board of Zoning Appeals

REQUEST, ANALYSIS AND RECOMMENDATION

08 - 64 Special Exception

REQUEST

The applicant is requesting the Board of Zoning Appeals to establish a manufactured home on property zoned M-1 (Light Industrial).

GENERAL INFORMATION

Applicant

Leroy Jenkins

Tax Map Number

11808-01-13

Location

Old Fairfield Road

Parcel Size

.45 -acre tract

Existing Land Use

vacant

Existing Status of the Property

The subject parcel is undeveloped and heavily wooded.

Proposed Status of the Property

The applicant proposes to place a manufactured home.

Character of the Area

The surrounding area is comprised of undeveloped, heavily wooded parcels.

ZONING ORDINANCE CITATION

Table 26-V-2 of the Land Development Code authorizes the Board of Zoning Appeals to authorize manufactured homes subject to the standards of section 26-152 (d) (13).

CRITERIA FOR SPECIAL EXCEPTIONS

In addition to definitive standards in this chapter, the Board shall consider the following:

1. **Traffic impact.**
2. **Vehicle and pedestrian safety.**
3. **Potential impact of noise, lights, fumes or obstruction of airflow on adjoining property.**
4. **Adverse impact of the proposed use on the aesthetic character of the environs, to include possible need for screening from view.**
5. **Orientation and spacing of improvements or buildings.**

DISCUSSION

Staff visited the site.

The applicant is requesting to establish a manufactured home.

In addition to receiving approval from the Board of Zoning appeals for the establishment of this use, the applicant may need approval for a septic tank from the South Carolina Department of Health and Environmental Control.

CONDITIONS

In granting a special exception, the board of zoning appeals may prescribe conditions and safeguards in addition to those spelled out in this chapter. The board of zoning appeals may also prescribe a time limit within which the special exception shall be begun or completed, or both. All conditions placed on the project by the board of zoning appeals shall be incorporated into such project.

OTHER RELEVANT SECTIONS

(13) *Dwellings, Manufactured Homes on Individual Lots.*

- a. Use districts: M-1 Light Industrial.
- b. Manufactured homes must meet the standards set by the Federal Manufactured Housing Construction and Safety Standards Act of 1974 (which became effective June 15, 1976), as revised and in effect on the date the application is made for a land development permit.
- c. The tongue, axles, transporting lights, and removable towing apparatus must be removed subsequent to final placement.
- d. Manufactured home skirting or a continuous, permanent masonry foundation, unpierced except for openings required by the building code for ventilation, utilities and access, shall be installed under the manufactured home.

ATTACHMENTS

- Plat

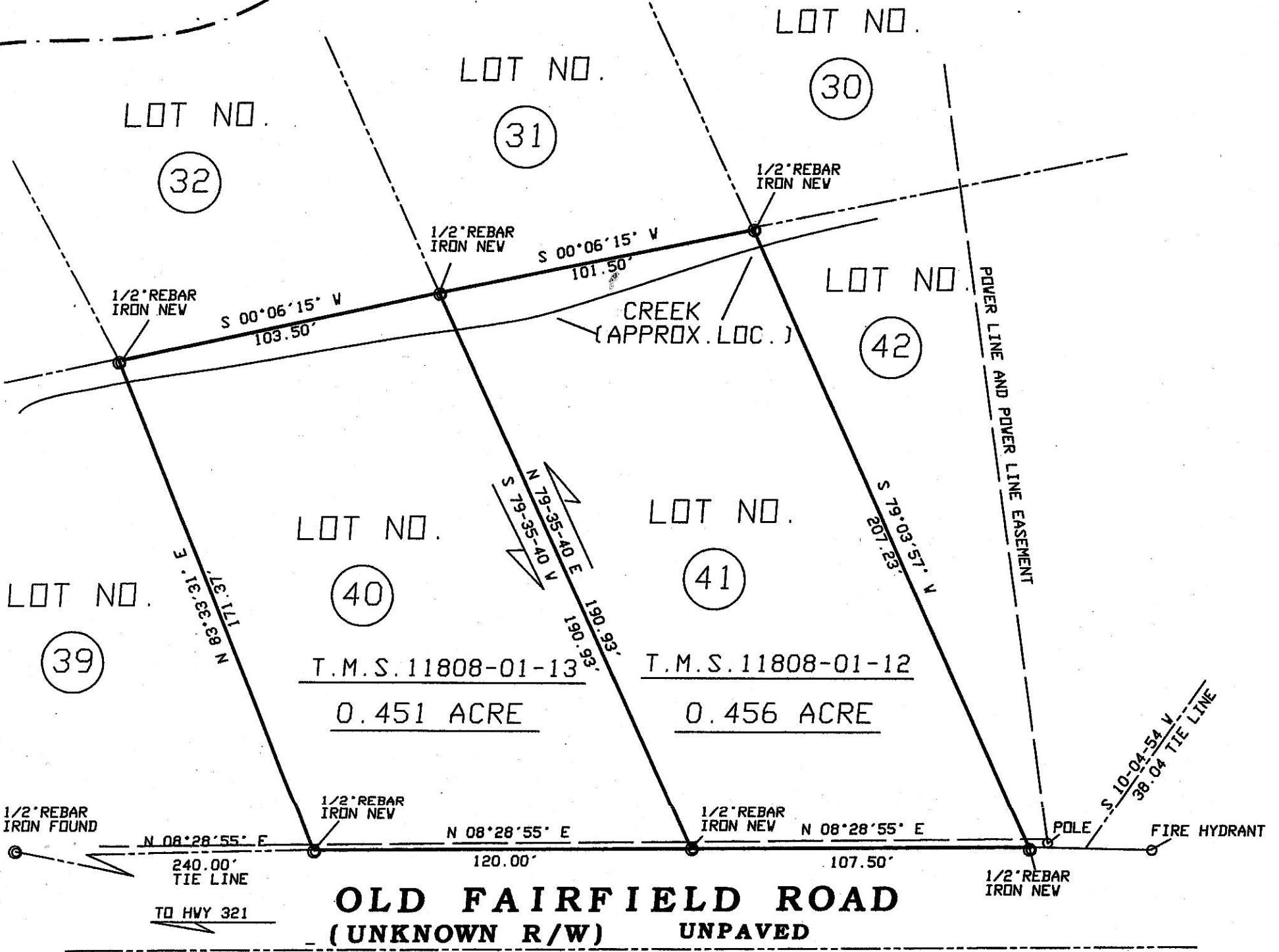
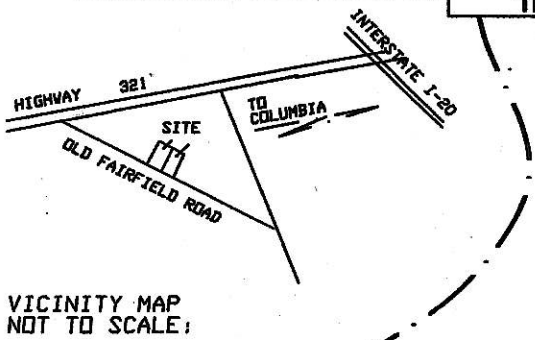
CASE HISTORY

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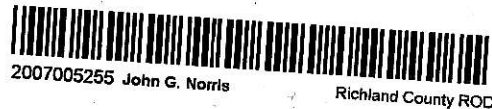
**CASE 08-64 SE
LEROY JENKINS
TMS 11808-01-12**



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Plat Prepared For

LEROY M. JENKINS

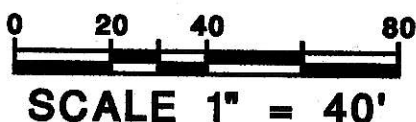
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BY: *Donald G. Platt*
Donald G. Platt
R.L.S. No. 4778



PN833

341 GLENN ROAD - WEST COLUMBIA, SC 29169 - PHONE (803) 796-5384



4 February 2009
Board of Zoning Appeals

REQUEST, ANALYSIS AND RECOMMENDATION

09-01 Variance

REQUEST

The applicant is requesting the Board of Zoning Appeals to grant a variance to exceed the allowable square footage for a wall sign in a GC (General Commercial) district.

GENERAL INFORMATION

Applicant

Identiti Resources (Alltel)

Tax Map Number

17400-11-03

Location

331 Killian Road

Parcel Size

5.05 acre tract

Existing Land Use

Retail

Existing Status of the Property

The subject property is a newly developed retail shopping strip.

Proposed Status of the Property

The applicant proposes to exceed the allowed square footage for a wall sign by 33 square feet (shown – 58, allowed 25).

Character of the Area

The surrounding area is dedicated to commercial uses.

ZONING ORDINANCE CITATION

Section 26-33 (a) (2) of the Land Development Code empowers the Board of Zoning Appeals to authorize upon appeal in specific cases such variance from the terms of this chapter as will not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of this chapter would result in an unnecessary hardship. Such appeals shall be made in accordance with the procedures and standards set forth in Sec. 26-57 of this chapter.

CRITERIA FOR VARIANCE

Standard of review. The board of zoning appeals shall not grant a variance unless and until it makes the following findings:

- a. That there are extraordinary and exceptional conditions pertaining to the particular piece of property; and

- b. That these conditions do not generally apply to other property in the vicinity; and
- c. That because of these conditions, the application of this chapter to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
- d. That the authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the granting of the variance will not harm the character of the district.

DISCUSSION

Staff visited the site.

The applicant proposes to exceed the allowable square footage for a wall sign in order to increase advertising visibility.

The applicant states that the increase in allowed signage is necessary in order to provide visibility. The granting of the variance will allow for larger signage to be located on two (2) sides of the building. Staff's view of the request is that the visibility is designed more for vehicular traffic traveling westward on Killian Road. There is a pylon sign located along Killian Road which will advertise for Alltel, as well as the other tenants.

While staff feels that the granting of the variance will not negatively impact the adjacent properties or the character of the surrounding area, staff believes that the subject parcel does not meet all of the criteria necessary for the granting of a variance.

CONDITIONS

26-57(f)(3)

Conditions. In granting a variance, the board of zoning appeals may attach to it such conditions regarding the location, character, or other features of the proposed building, structure or use as the board of zoning appeals may consider advisable to protect established property values in the surrounding area, or to promote the public health, safety, or general welfare. The board of zoning appeals may also prescribe a time limit within which the action for which the variance was sought shall be begun or completed, or both.

OTHER RELEVANT SECTIONS

N/A

ATTACHMENTS

- Proposed signage plans
- Application attachments

CASE HISTORY

CASE 09-01 V
IDENTITI RESOURCES
TMS 14781-04-12

Albert Allen Rd
Davis Smith Rd

Killian Loop

Lib Lucas Rd

Killian Rd



177

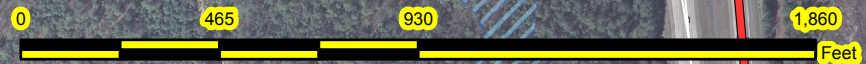
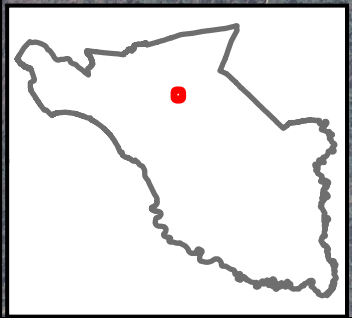
177

77

Diesel Dr



-  FLOOD ZONE A
-  FLOOD ZONE AE
-  WETLANDS



09-01 V

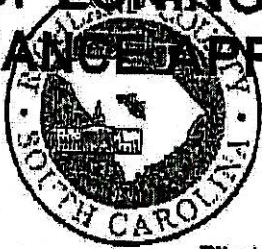


Front of building



View from Killian Road

**RICHLAND COUNTY
BOARD OF ZONING APPEALS
VARIANCE APPEALS**



Receipt# _____

Application# _____

Paid \$ _____

Filed _____

1. Location Alltel - 331 Killian Road Space B6
2. Page 14781 Block 04 Lot 12 Zoning District GC
3. Applicant hereby appeals to the Zoning Board of Appeals for a variance from the strict application to the property as described in the provisions of Section _____ of the Richland County Zoning Ordinance.
4. Applicant requests a variance to allow use of the property in a manner shown on the attached site plan, described as follows: Retail store at Killian Market Place (Space B6) Columbia, SC.
5. The application of the ordinance will result in unnecessary hardship, and the standards for a variance set by Sec. 26-602.3b(1) of the Richland County Zoning Code are met by the following facts.
 - a) There are extraordinary and exceptional conditions pertaining to the particular piece of property as following: Two elevations of space for exterior signage with high visibility to public
 - b) Describe how the conditions listed above were created: Architectural layout for retail center
 - c) These conditions do not generally apply to other property in the vicinity as shown by: The majority of other retail tenants have only (1) elevation
 - d) Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property as follows: would not restrict the utilization of the property
 - e) The authorization of the variance will not be of substantial detriment to the adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance for the following reasons: End unit not adjacent any other retailer and will not take away from
6. The following documents are submitted in support of this application [a site plan must be submitted]:
 - a) Renderings
 - b) LL approval letter
 - c) Alltel letter
 - (Attach additional pages if necessary)
 - d) Site plan
 - e) Application

the integrity of the overall architectural design.



Alltel
One Allied Drive
Little Rock, AR 72202

October 17, 2008

City of Columbia, SC

Re. Alltel
331 Killian Road Space B6
Columbia, SC

To Whom It May Concern:

Alltel has made a significant investment in developing its national brand identity through a variety of media. Store signage has proven to be one of the most effective methods of promoting that brand. The ability to be able to effectively identify our stores, through maximizing signage opportunities, continues to have a direct correlation in enabling our stores to fully service the local market.

In regards to our location listed above, the existing sign criteria for the city allowed 1 square foot of signage for every 1' foot of frontage which allowed a maximum of 25 square feet. It was determined that while the front elevation was visible to the public, a signage presence on the side elevation would prove to be of great benefit. In this case we chose to split the total square footage between both signs hoping to generate more customer traffic. This decision has left us with signs that are now too small and are out of proportion with the over all size of the building.

We request that you consider allowing a variance so that we may place slightly larger signs on the front and side elevations as shown in the revised drawings. The representative of the property owner, Katie Pugh at Meyers Brothers Properties 100 Glenridge Point Parkway, Suite 530 Atlanta, GA 30342 is in agreement with our request. Please advise our national sign supplier listed below of your decision on this matter.

Sincerely

Jim Grandjean
Manager, Commercial Construction
Real Estate and Facility Services

Cc Mr. Tom Vician
Identiti Resources
800 W. Lunt ave.
Schaumburg, IL 60193
PH. 847.301.0510 Fax 847.301.0518 tvician@identiti.net



Meyers Brothers Properties LLC

October 17, 2008

RE: Alltel, Killian Market Place, Columbia, SC
Sign Variance

To whom it may concern,

The Landlord, Bright-Meyers Killian Associates, L.P., for Killian Market Place Shopping Center supports Alltel's effort to get a sign variance.

We agree that allowing Alltel to have larger signage on both the front and side of our building would be beneficial to their business, and generate more customer traffic for the shopping center as a whole.

Please feel free to contact me with any questions.

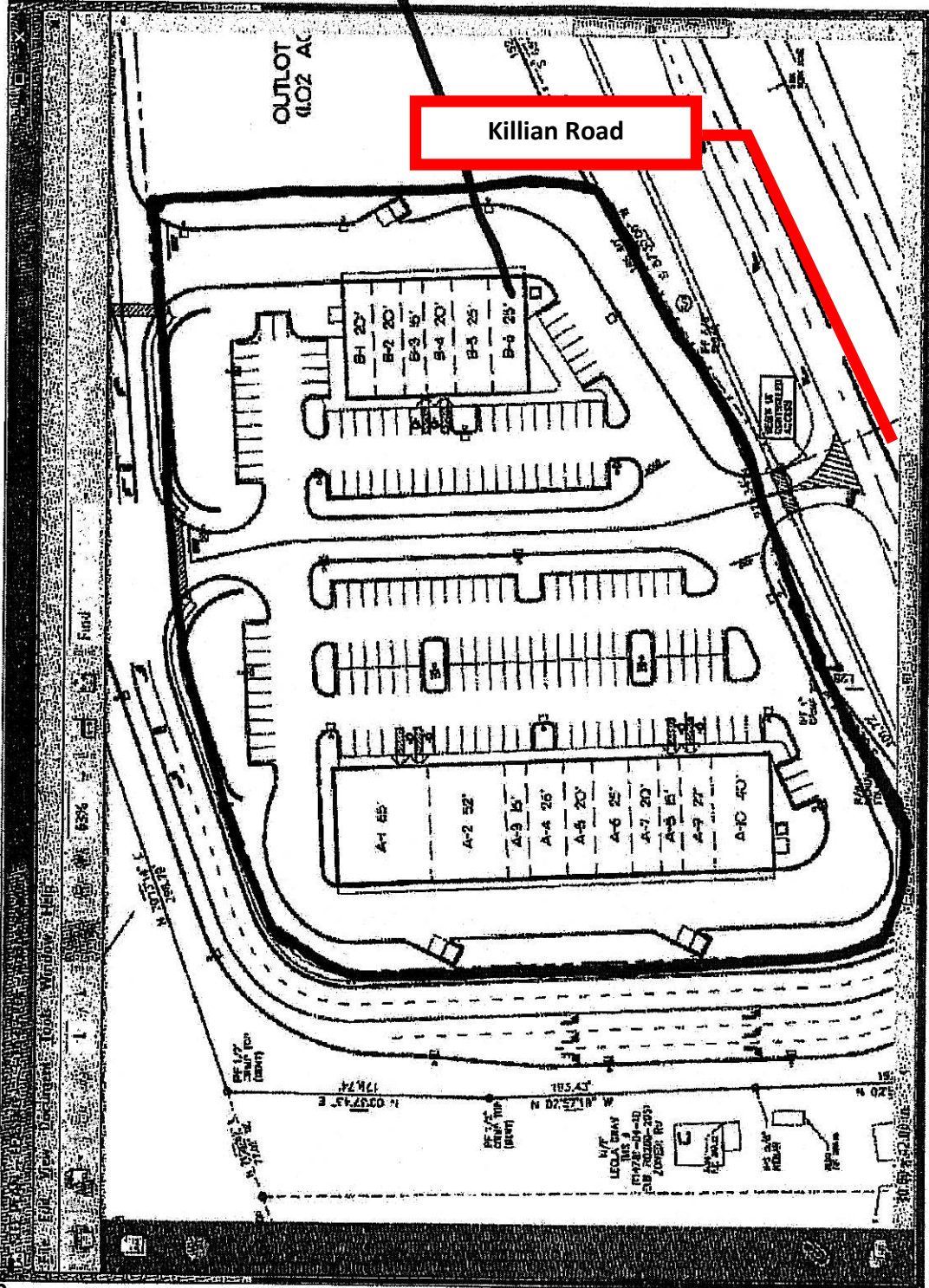
Best Regards,

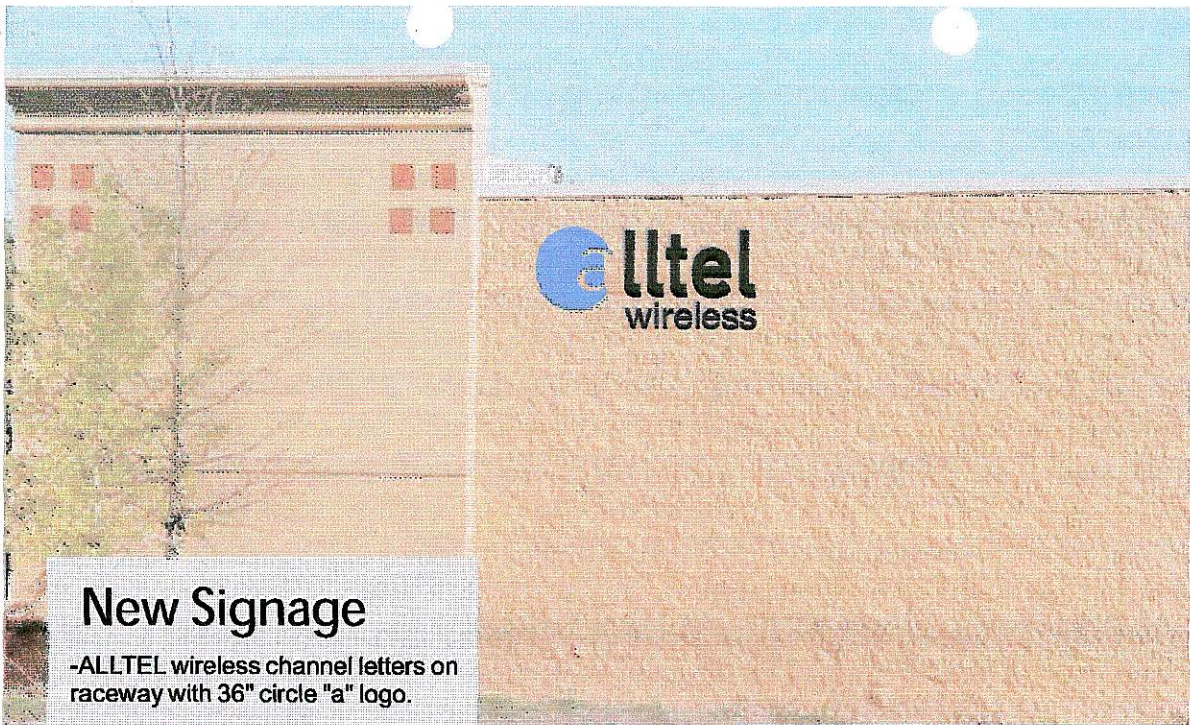

Katie Pugh
Property Manager

1
A1162
SP
B6

OUTLOT
(102 AC)

Killian Road



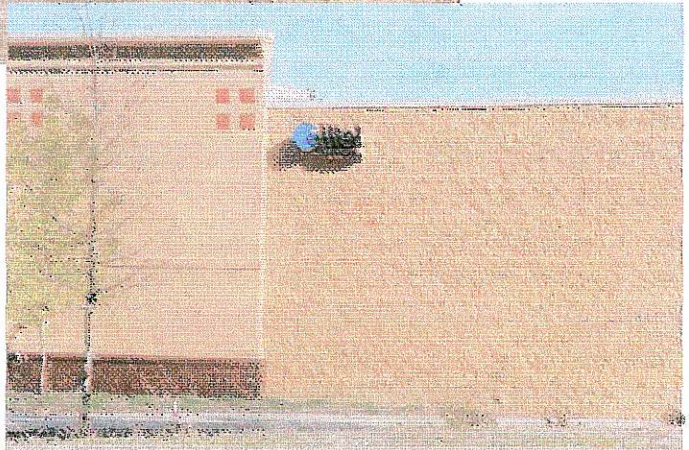


New Signage

-ALLTEL wireless channel letters on raceway with 36" circle "a" logo.



New Signage - Total SF 30

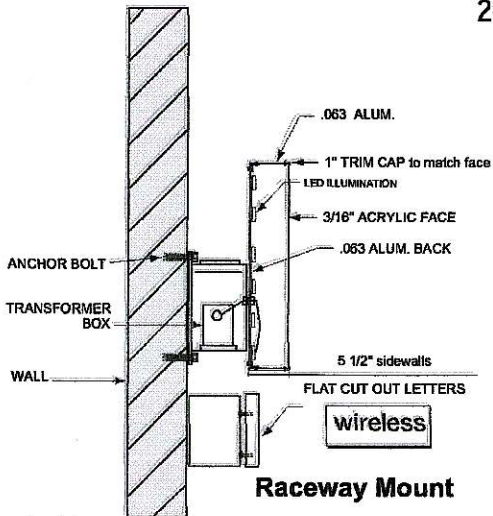


Existing Signage



Sign 1 Front = 17sf
 Sign 2 Side = 8sf
 Total SF 25
 Total allowed by city 25

Per the city code, end units are allowed 1sf of signage per 1' of storefront. Total sf allowed is 25sf



Raceway Mount

<p>IDENTITY RESOURCES LIMITED</p> <p>800 W. Lumt Blvd. Schaumburg, IL 60193 847.301.0510 FAX 847.301.0518</p>	Customer <u>ALLTEL Columbia, SC</u>
	Scale <u>28276</u>
	Date <u>10.1.08</u> Revision _____



4 February 2009
Board of Zoning Appeals

REQUEST, ANALYSIS AND RECOMMENDATION

09-05 Special Exception

REQUEST

The applicant is requesting the Board of Zoning Appeals to grant a special exception to permit the construction of a communication tower in a RU (Rural) district.

GENERAL INFORMATION

Applicant

Jonathan Yates (Sequoia Wireless)

Tax Map Number

03207-02-02

Location

Farming Creek Road

Parcel Size

5.08 -acre tract

Existing Land Use

undeveloped

Existing Status of the Property

The subject parcel is heavily wooded and undeveloped.

Proposed Status of the Property

The applicant proposes to erect a 190-foot telecommunications tower, within a 6,400 (80 x 80) square foot leased area.

Character of the Area

The surrounding area consists of subdivisions, large residential tracts, and heavily wooded and undeveloped parcels.

ZONING ORDINANCE CITATION

Table 20-V-2 of the Land Development Code authorizes the Board of Zoning Appeals to authorize radio, television and all other types of communications towers subject to the provisions of section 26-152 (d) (24).

CRITERIA FOR SPECIAL EXCEPTIONS

In addition to definitive standards in this chapter, the Board shall consider the following:

1. Traffic impact.
2. Vehicle and pedestrian safety.
3. Potential impact of noise, lights, fumes or obstruction of airflow on adjoining property.
4. Adverse impact of the proposed use on the aesthetic character of the environs, to include possible need for screening from view.
5. Orientation and spacing of improvements or buildings.

Special exception requirements (as found in section 26-152 (d) (24)):

(24) Radio, television and telecommunications and other transmitting towers.

- a. Use districts: Rural; Office and Institutional; Neighborhood Commercial; Rural Commercial; General Commercial; LI Light Industrial; Heavy Industrial.
- b. Communication towers shall have a maximum height of three hundred (300) feet. For towers on buildings, the maximum height shall be twenty (20) feet above the roofline of buildings forty (40) feet or four stories in height or less. For buildings greater than four stories or forty-one (41) feet in height, the maximum height of communication towers shall be forty feet above the roofline.
- c. The minimum setbacks for communication towers from certain uses shall be as follows:
 1. In no case shall a communication tower be located within fifty (50) feet of a residential zoning district or an inhabited residential dwelling.
 2. For towers in excess of fifty (50) feet, the setback shall increase one (1) foot for each foot of height of the tower as measured from the base of the tower. The maximum required separation being two hundred and fifty (250) feet.
- d. The proposed user must show proof of an attempt to collocate on existing communication towers, and must be willing to allow other users to collocate on the proposed tower in the future subject to engineering capabilities of the structure. Evidence of an attempt to collocate must show that alternative towers, buildings, or other structures are not available for use within the applicant's tower site search area that are structurally capable of supporting the intended antenna or meeting the applicant's necessary height criteria, or provide a location free of interference from other communication towers.
- e. Towers shall be illuminated as required by the Federal Communications Commission, Federal Aviation Administration, or other regulatory agencies. However, no nighttime strobe lighting shall be incorporated unless required by the Federal Communications Commission, the Federal Aviation Administration, or other regulatory agency.
- f. Each communication tower and associated buildings shall be enclosed within a fence at least seven (7) feet in height.
- g. Each communication tower site shall be landscaped in accordance with the requirements of Sec. 26-176 of this chapter.
- h. No signage may be attached to any portion of a communications tower. Signs for the purpose of identification, warning, emergency function or contact or other as required by applicable state or federal rule, law, or regulation may be placed as required by standard industry practice.
- i. A communications tower which is no longer used for communications purposes must be dismantled and removed within one hundred twenty (120) days of the date the tower is taken out of service.

DISCUSSION

The applicant proposes to erect a 190-foot telecommunications tower, within a 6400 square foot leased compound.

Staff visited the site.

The tower is proposed to be located 413 feet from Farming Creek Road and approximately 110 feet from the rear property line.

Meeting the criteria for a special exception in section 26-152 (d) (24) (c) may indicate that the applicant has taken necessary measures to minimize the impact of a communication tower on the surrounding area. According to the applicant, the tower will be 200 feet from the nearest existing residential structure. Staff believes that this request will not impair the properties in the immediate or surrounding area.

The applicant must address, before the Board, the special exception requirements of section 26-152 (d) (24) (d).

CONDITIONS

Section 26-56 (f) (3)

(3) Conditions: In granting a special exception, the board of zoning appeals may prescribe conditions and safeguards in addition to those spelled out in this chapter. The board of zoning appeals may also prescribe a time limit within which the special exception shall be begun or completed, or both. All conditions placed on the project by the board of zoning appeals shall be incorporated into such project.

OTHER RELEVANT SECTIONS

N/A

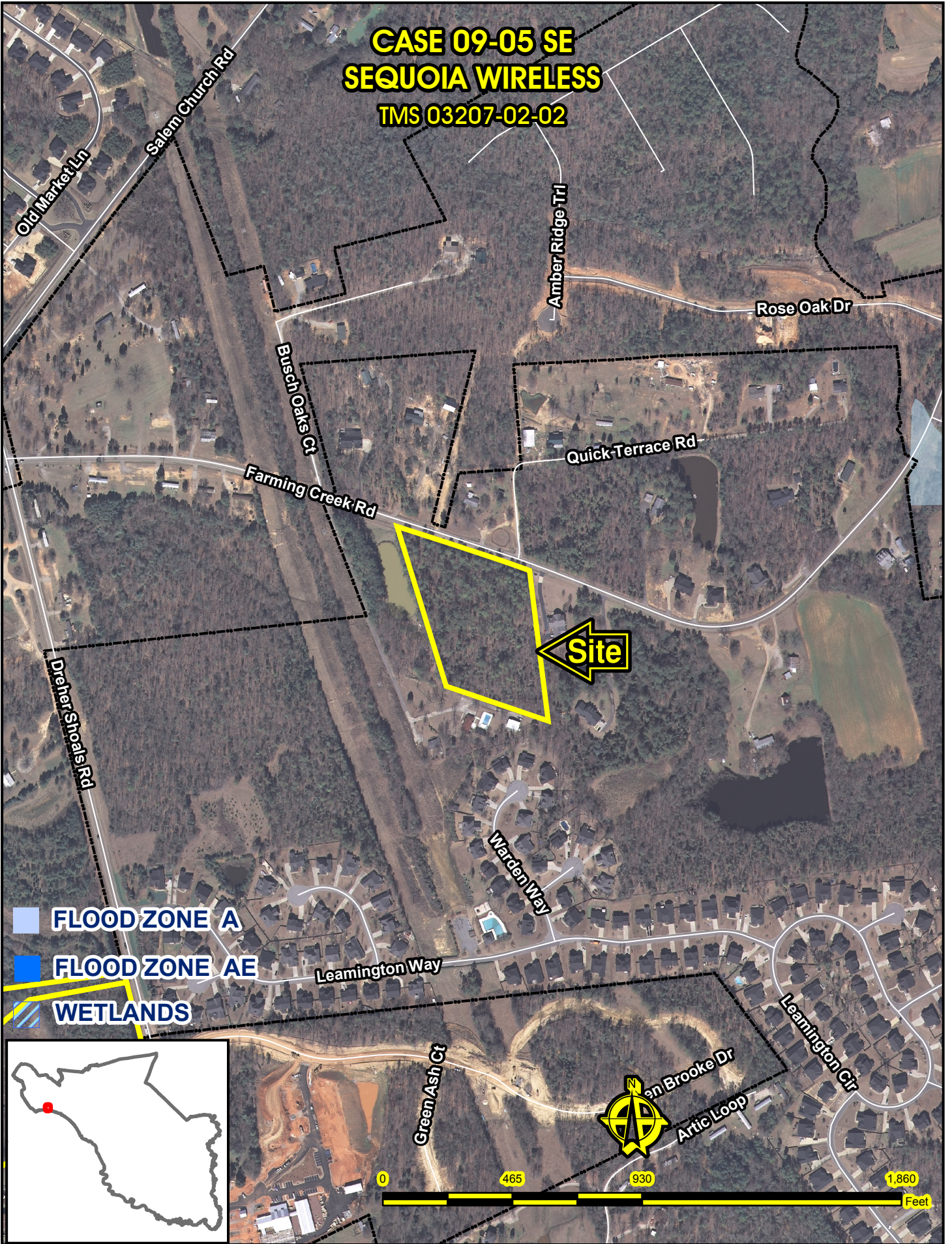
ATTACHMENTS

- Site plan

CASE HISTORY

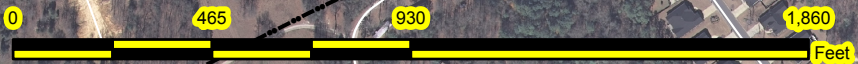
No record of previous special exception or variance request.

CASE 09-05 SE
SEQUOIA WIRELESS
TMS 03207-02-02



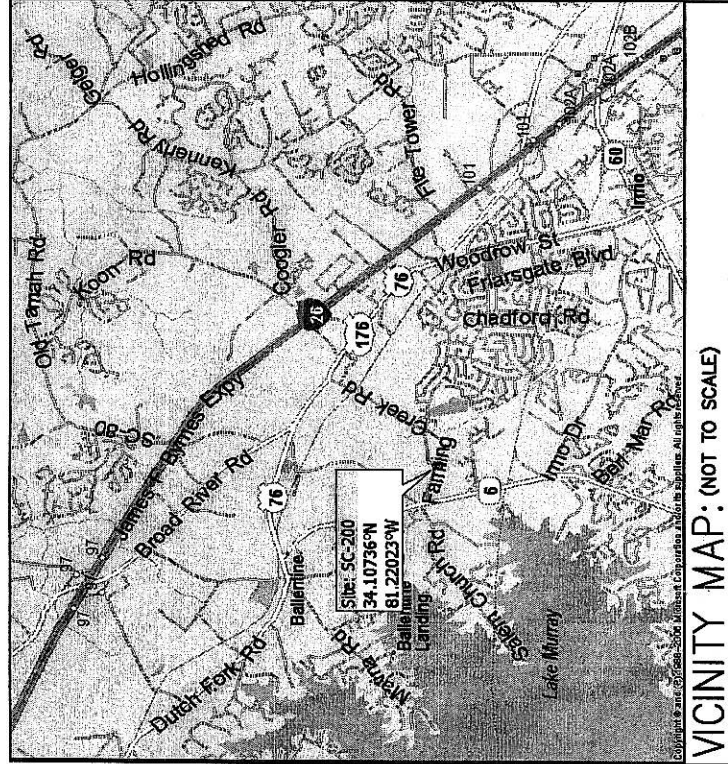
- FLOOD ZONE A
- FLOOD ZONE AE
- ▨ WETLANDS

Site



SITE NAME: FARMING CREEK
 SITE NUMBER: SC-200
 SITE ADDRESS: FARMING CREEK ROAD
 IRMO, SC 29063
 TMS#: 3207-02-02
 APPLICANT/LESSEE: SEQUOIA WIRELESS
 4840 FOREST DRIVE, SUITE 6B
 COLUMBIA, SC 29206
 PROJECT MANAGER: CAROLYN HARDWICK
 (770) 444-4463
 APPLICATION AGENT FOR APPLICANT: JONATHAN YATES (843) 720-1768
 LATITUDE (NAD 83): 34° 06' 26.48" N
 LONGITUDE (NAD 83): 81° 13' 12.82" W
 AGENT: RU
 JURISDICTION: RICHLAND COUNTY
 POWER COMPANY: MID CAROLINA ELEC. COOP
 (800) 777-9898
 TELCO COMPANY: AT&T
 (866) 620-3292

PROJECT INDEX:



VICINITY MAP: (NOT TO SCALE)

FROM COLUMBIA, TAKE I-26 NORTHWEST TO EXIT 101. TAKE ACCESS ROAD TO BROAD RIVER ROAD AND TURN LEFT. CONTINUE ON BROAD RIVER ROAD APPROXIMATELY 2.5 MILES AND TURN LEFT ON FARMING CREEK ROAD. CONTINUE APPROXIMATELY 1.2 MILES TO THE SITE LOCATED ON THE LEFT.

DRIVING DIRECTIONS:



FARMING CREEK
 PROPOSED UNMANNED TELECOMMUNICATION SITE

SITE NUMBER: SC-200
FARMING CREEK ROAD
IRMO, SC 29063

RICHLAND COUNTY, SOUTH CAROLINA
SITE TYPE: MONOPOLE RAWLAND

DIG ALERT:
 CALL FOR UNDERGROUND UTILITIES PRIOR TO DIGGING:
 1-800-922-0983
EMERGENCY:
 CALL 911

CONSTRUCTION OF AN UNMANNED TELECOMMUNICATION FACILITY CONSISTING OF A FENCED, GRAVELED COMPOUND WITH EQUIPMENT CABINETS AND PANEL ANTENNAS AND ASSOCIATED CABLES MOUNTED TO A PROPOSED MONOPOLE.

PROJECT DESCRIPTION:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

1. SC BUILDING CODE
2. UNIFORM BUILDING CODE
3. BUILDING OFFICIALS AND CODE ADMINISTRATORS (BOCA)
4. UNIFORM MECHANICAL CODE
5. ANSI/TIA/EIA-222-F
6. UNIFORM PLUMBING CODE
7. NATIONAL ELECTRIC CODE
8. LOCAL BUILDING CODE
9. CITY/COUNTY ORDINANCES

CODE COMPLIANCE:

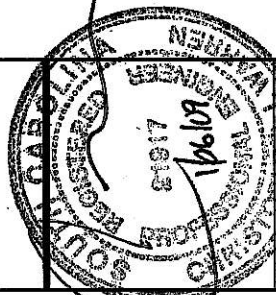
SHEET #	TITLE	REV.#	DATE
T01	TITLE SHEET	2	01/06/09
C01	NOTES	2	01/06/09
C02	NOTES AND LEGEND	2	01/06/09
C03	OVERALL SITE PLAN	2	01/06/09
C04	SITE LAYOUT & STAKING PLAN	2	01/06/09
C05	TOWER ELEVATION	2	01/06/09
C06	GRADING, EROSION & SEDIMENT CONTROL PLAN	2	01/06/09
C07	GRADING, EROSION & SEDIMENT CONTROL NOTES	2	01/06/09
C08	CIVIL DETAILS	2	01/06/09
C09	CIVIL DETAILS	2	01/06/09
C10	SITE SIGNAGE DETAILS	2	01/06/09
E01	ELECTRICAL PLAN	2	01/06/09
E02	ELECTRICAL DETAILS	2	01/06/09
E03	ELECTRICAL DETAILS	2	01/06/09
G01	GROUNDING PLAN	2	01/06/09
G02	GROUNDING DETAILS	2	01/06/09
G03	GROUNDING DETAILS	2	01/06/09

SHEET INDEX:

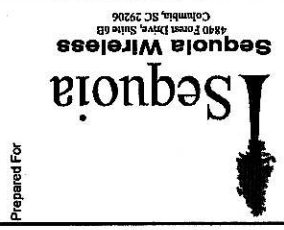
DO NOT SCALE DRAWINGS
 CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

GENERAL CONTRACTOR NOTES:

intimig
 engineering & surveying
 2255 SEWELL MILL ROAD
 SUITE 130
 MARIETTA, GA 30062
 TEL: 678-444-4463
 FAX: 678-444-4472



PROJECT NUMBER: 225-001
 PROJECT TITLE: FARMING CREEK SC-200
 FARMING CREEK ROAD
 IRMO, SC 29063
 DRAWN: JY Date: 12/29/08
 DESIGNED: JY Date: 12/29/08
 CHECKED: JY Date: 12/29/08
 ISSUED FOR REVIEW: JY Date: 12/29/08
 ISSUED FOR CONSTRUCTION: JY Date: 01/06/09



DRAWING SCALE: AS NOTED
 DATE: 12/29/08

DRAWING TITLE: FARMING CREEK SC-200
TITLE SHEET
 DRAWING NUMBER: T01

GENERAL PROJECT NOTES

1. THE ENGINEER SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT ON A ONE TIME BASIS.
2. THE CONTRACTOR SHALL TOPSOIL AND SEED ALL DISTURBED AREAS.
3. THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVE-GROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA, EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE SHOWN OR MAY NOT BE SHOWN; AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. 48 HOURS BEFORE YOU DIG, DRILL OR BLAST, CALL SOUTH CAROLINA CALL CENTER AT (800) 922-0983.
4. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL OF THE ENGINEER.
5. THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THIS JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT.
6. THE CONTRACTOR SHALL RESTORE ALL PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO AT LEAST AS GOOD OF CONDITION AS BEFORE DISTURBED AS DETERMINED BY THE ENGINEER.
7. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATES, ETC.
9. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF A NORTH CAROLINA LICENSED LAND SURVEYOR.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS, AND COORDINATE WORK WITH ALL CONTRACTS FOR THE SITE.
11. ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH THE LATEST REVISIONS OF NORTH CAROLINA STATE CODE AND OSHA REGULATIONS FOR CONSTRUCTION.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK.
13. ALL UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE ENGINEER AND THE UTILITY OWNER. NOTIFY THE ENGINEER AND THE UTILITY OWNER 24 HOURS BEFORE EACH AND EVERY CONNECTION TO EXISTING SYSTEMS IS MADE.
14. MAINTAIN FLOW FOR ALL EXISTING UTILITIES.
15. ALL SITE FILL SHALL MEET SELECTED FILL STANDARDS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
16. CONTRACTOR TO GRADE ALL AREAS ON THE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE COMPOUND AND THE TOWER.
17. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP AS-BUILT PLANS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND HIS REPRESENTATIVES, AND THE CONTRACTOR SHALL PROVIDE ANY CORRECTION OR ADJUSTMENTS TO THE SATISFACTION OF THE OWNER AND HIS REPRESENTATIVES BEFORE UTILITIES WILL BE ACCEPTED. AS-BUILTS SHALL INCLUDE ALL POWER, TELEPHONE, GROUNDING, ETC.
18. TOWER FOOTING DIMENSIONS SHALL BE VERIFIED WITH THE TOWER MANUFACTURER AND THE TOWER PLANS.

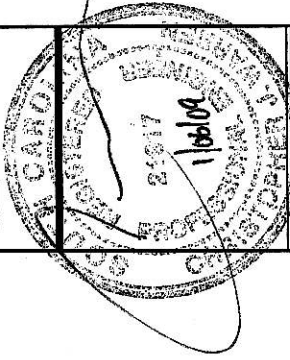
GENERAL CONSTRUCTION NOTES

1. GENERAL
 - A. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
 - B. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE UNDERGROUND UTILITIES.
 - C. INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH ACTION SHALL REQUIRE APPROVAL.
 - D. EACH CONTRACTOR SHALL COOPERATE WITH THE OWNER'S REPRESENTATIVE, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
 - E. PAINT ALL ANTENNAS, MOUNTING HARDWARE, CABLES, CABLE TRAYS, ETC. TO MATCH EXISTING STRUCTURE PER OWNER REQUIREMENTS. OWNER SHALL APPROVE COLOR.
 - F. ALL DAMAGED, MARRED, SCRAPPED, ABRADED, ETC. AREAS OF EXISTING PAINT SHALL BE REPAIRED PER OWNERS REQUIREMENTS. OWNER SHALL APPROVE COLOR.
2. EXCAVATIONS/FOUNDATION
 - A. FOUNDATION EXCAVATION SHALL BE HAND-TRIMMED TO REMOVE LOOSE MATERIALS.
 - B. EXTERIOR FOUNDATION BACKFILL SHALL BE SELECTED GRANULAR FILL.
 - C. ALL STRUCTURAL BACKFILL AND SUBBASE UNDER SLABS-ON-GRADE AND FOOTINGS SHALL BE "SW" OR BETTER PER ASTM D-2487 COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY PER ASTM D 698.
 - D. DO NOT PLACE FOOTINGS IN WATER OR ON FROZEN GROUND.
 - E. SOIL BEARING SURFACES, PREVIOUSLY ACCEPTED BY GEOTECHNICAL ENGINEER, WHICH ARE ALLOWED TO BECOME SATURATED, FROZEN OR DISTURBED SHALL BE REWORKED TO SATISFACTION OF GEOTECHNICAL ENGINEER.
 - F. DO NOT ALLOW GROUND BENEATH FOOTINGS TO FREEZE.
 - G. FOOTING EXCAVATIONS SHALL BE CUT NEAT.
3. CONCRETE
 - A. DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING APPLICABLE CODES: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE";
 - B. MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING CONCRETE.
 - C. CONCRETE SHALL BE NORMAL WEIGHT, 6% AIR ENTRAINED (±1.5%) WITH A MAXIMUM 4" SLUMP, AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS OTHERWISE NOTED.
 - D. MAXIMUM AGGREGATE SIZE SHALL BE 1".
 - E. THE FOLLOWING MATERIALS SHALL BE USED:

PORTLAND CEMENT:	ASTM C 150, TYPE I
REINFORCEMENT:	ASTM A 615, GRADE 60
NORMAL WEIGHT AGGREGATE:	ASTM C 33
WATER:	DRINKABLE
ADMIXTURES:	NON-CHLORIDE CONTAINING
 - F. REINFORCING SHALL CONFORM TO ASTM A-615 WITH SUPPLEMENT. MINIMUM YIELD STRENGTH $F_y = 60$ KSI. REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315.
 - G. CONCRETE COVER AROUND REINFORCING BARS (U.N.O.) SHALL BE:

1. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED EARTH.....	3"
2. CONCRETE EXPOSED TO EARTH, WEATHER.....	2"
3. SLABS.....	3/4"
4. ALL OTHER CONCRETE.....	1 1/2"
 - H. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, REINFORCEMENT SPLICES SHALL MEET CLASS B, TENSION LAP REQUIREMENTS IN ACCORDANCE WITH ALL PROVISIONS OF ACI 318 LATEST EDITION, UNLESS NOTED OTHERWISE.

engineering & surveying
2255 SEWELL MILL ROAD
SUITE 130
MARIETTA, GA 30062
TEL: 678-444-4463
FAX: 678-444-4472



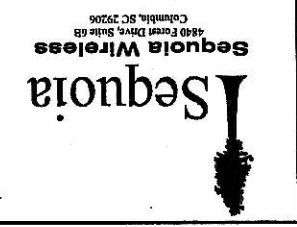
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1	ISSUED FOR REVIEW	PER	12/29/08
2	ISSUED FOR CONSTRUCTION	PER	12/29/08

Drawn: PHB Date: 12/29/08
 Designed: PHB Date: 12/29/08
 Checked: CM Date: 12/29/08

Project Number: 228-001

Project Title: **FARMING CREEK**
SC - 200
 FARMING CREEK ROAD
 IRMO, SC 29063

Prepared For:



Drawing Scale: AS NOTED
 Date: 12/29/08

Drawing Title:

NOTES

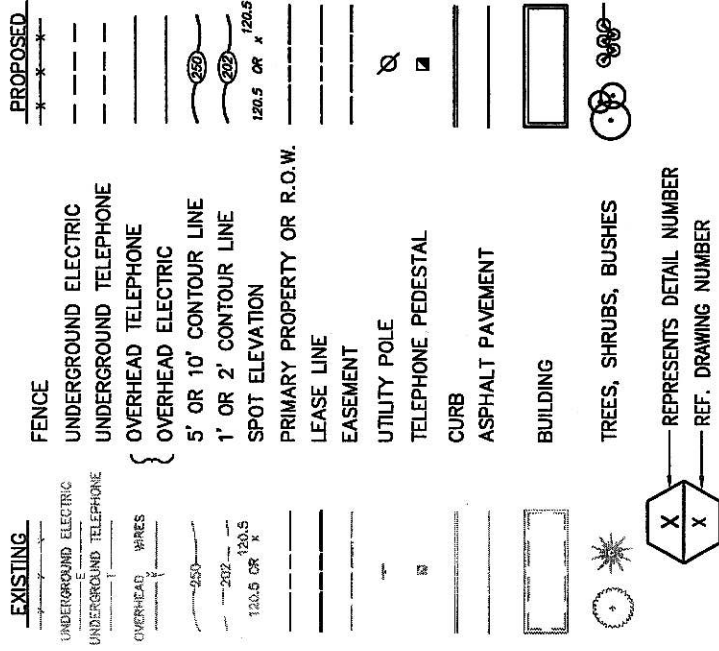
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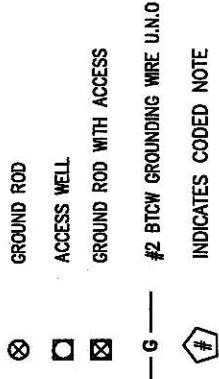
GENERAL CONSTRUCTION NOTES CONT.

- I. CURING COMPOUNDS SHALL CONFORM TO ASTM C-309.
- J. ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI-301.
- K. DO NOT WELD OR TACKWELD REINFORCING STEEL.
- L. ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, PIPING, WATERSTOPS, INSERTS, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- M. LOCATE ADDITIONAL CONSTRUCTION JOINTS REQUIRED TO FACILITATE CONSTRUCTION AS ACCEPTABLE TO ENGINEER. PLACE REINFORCEMENT CONTINUOUSLY THROUGH JOINT.
- N. REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- O. PLACE CONCRETE IN A UNIFORM MANNER TO PREVENT THE FORMATION OF COLD JOINTS AND OTHER PLANES OF WEAKNESS. VIBRATE THE CONCRETE TO FULLY EMBED REINFORCING. DO NOT USE VIBRATORS TO TRANSPORT CONCRETE THROUGH CHUTES OR FORMWORK.
- P. DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- Q. DO NOT ALLOW CONCRETE SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 14 DAYS AFTER PLACEMENT.
- R. FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS MINIMUM.
- S. PROVIDE A STEEL TROWEL FINISH TO THE SLAB.
- 5. ANTENNA SUPPORT BRACKET NOTES
 - A. DESIGN RESPONSIBILITY OF ANTENNA MOUNTING BRACKETS AND POLES AND ALL COMPONENTS THERE OF AND ATTACHMENT THERE TO SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER. MFR SHALL PROVIDE TO THE ENGINEER FOR APPROVAL, DRAWINGS DETAILING ALL COMPONENTS OF THE ASSEMBLY, INCLUDING CONNECTIONS, DESIGN LOADS, AND ALL OTHER PERTINENT DATA.
 - B. BRACKETS SHALL BE DESIGNED TO SUPPORT CURRENT AND FUTURE PANEL ANTENNAS AND COAXIAL CABLES AS SHOWN.
- 6. STRUCTURAL STEEL NOTES
 - A. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
 - B. STEEL ANGLES, BASE PLATES, BEARING PLATES AND MISC. FABRICATION SHALL BE MADE FROM STEEL MEETING THE REQUIREMENTS OF ASTM-A36 WITH A MINIMUM YIELD STRESS OF 36 KSI. ALL STEEL TUBES AND PIPES SHALL BE A500 STEEL MINIMUM.
 - C. ALL DINGS, SCRAPES, MARKS, AND WELDS IN THE FINISHED AREAS SHALL BE REPAIRED BY FIELD TOUCH-UP PRIOR TO COMPLETION OF THE WORK.
 - D. ALL EXTERIOR STRUCTURAL STEEL SHALL BE, WHEN DELIVERED, HOT-DIP GALVANIZED ACCORDING TO ASTM A123. TOUCH-UP FIELD WELDS AND ABRASION AREAS W/2 COATS OF GALVANIZED PAINT, ZRC COLD GALVANIZING COMPOUND OR APPROVED EQUAL.
 - E. DO NOT PLACE HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON STRUCTURAL DRAWINGS.
 - F. CONNECTIONS:
 - 1. WELD (SHIELDED METAL ARC) - ELECTRODES SHALL BE E70XX MINIMUM AND BE IN ACCORDANCE WITH AWS D1.1 UNLESS NOTED OTHERWISE.
 - 2. MINIMUM CAPACITY OF CONNECTIONS: FOR CONNECTIONS NOT DETAILED, PROVIDE CONNECTION CAPACITY OF AT LEAST THAT REQUIRED BY PART 2 OF THE AISC MANUAL (9TH EDITION) IN THE SECTION "ALLOWABLE LOADS ON BEAMS", FOR THE GIVEN MEMBER AND STEEL SPECIFICATIONS. CONCENTRATED LOADS NEAR SUPPORTS MUST BE ADDED.
 - 3. CONNECTION DESIGN BY FABRICATOR WILL BE SUBJECT TO REVIEW AND APPROVAL.
 - 4. BOLTED CONNECTIONS SHALL USE BEARING TYPE GALVANIZED ASTM A325 BOLTS (3/4" DIA.) AND SHALL HAVE A MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
 - 5. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. GALVANIZED ASTM A307 BOLTS UNLESS NOTED OTHERWISE.

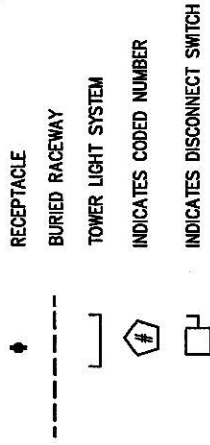
CIVIL LEGEND



GROUNDING SYMBOLS



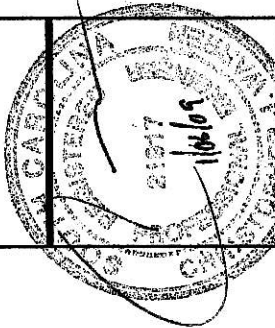
ELECTRICAL SYMBOLS



ABBREVIATIONS

- CIGBE COAX ISOLATED GROUND BAR EXTERNAL
- MIGB MASTER ISOLATED GROUND BAR
- SST SELF SUPPORTING TOWER
- GPS GLOBAL POSITIONING SYSTEM
- TYP. TYPICAL
- DWG DRAWING
- BCW BARE COPPER WIRE
- BFG BELOW FINISH GRADE WITH
- PVC POLYVINYL CHLORIDE
- CAB CABINET
- C CONDUIT
- SS STAINLESS STEEL
- G GROUND
- AWG AMERICAN WIRE GAUGE
- RGS RIGID GALVANIZED STEEL
- AHJ AUTHORITY HAVING JURISDICTION
- TTLNA TOWER TOP LOW NOISE AMPLIFIER
- UNO UNLESS NOTED OTHERWISE
- EMT ELECTRICAL METALLIC TUBING

infingy
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FAX: 678-444-4472



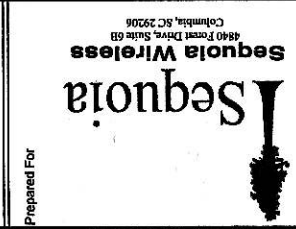
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2	ISSUED FOR CONSTRUCTION	PHR	01/04/09
1	REVISED FOR REVIEW	PHR	01/05/09
0	ISSUED FOR REVIEW	PHR	12/29/08

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Designed: PHR Date: 12/29/08
Checked: GW Date: 12/29/08

Project Number: 225-001

Project Title
FARMING CREEK
SC - 200
FARMING CREEK ROAD
IRMO, SC 29063

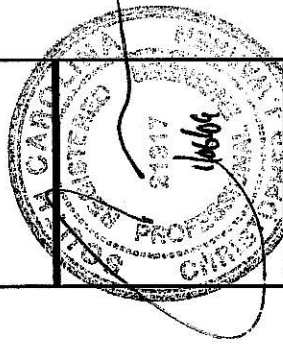


Prepared For
Seqoia Wireless

Drawing Scale: AS NOTED
Date: 12/29/08

NOTES & LEGEND

Drawing Number
C02

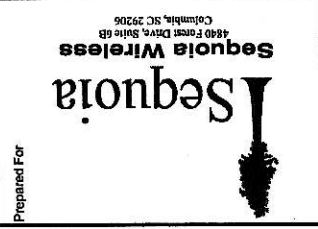


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1	RE-ISSUED FOR REVIEW	PH	07/06/09
0	ISSUED FOR REVIEW	PH	12/29/08

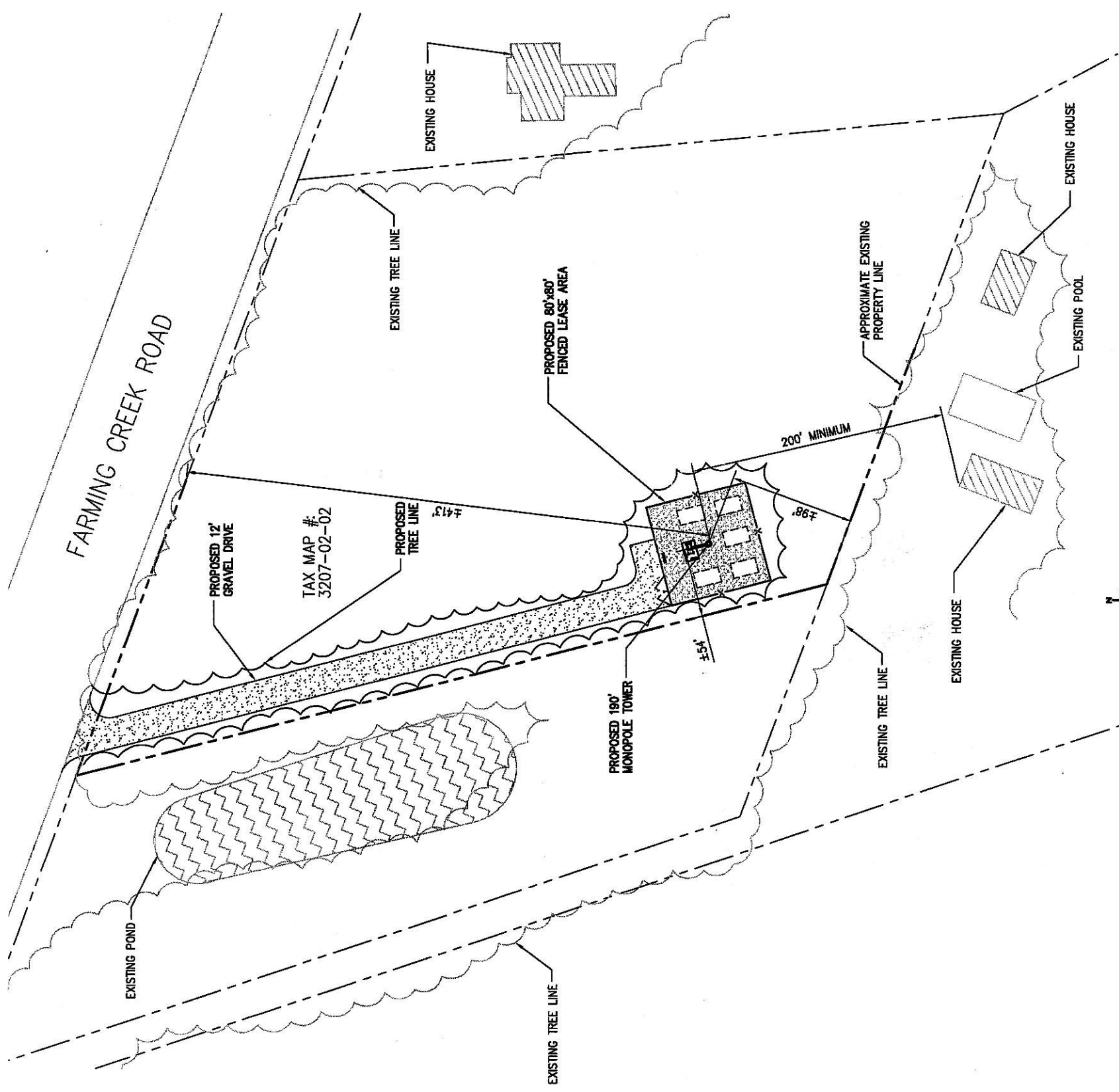
Drawn: PH Date: 12/29/08
Designed: PH Date: 12/29/08
Checked: SM Date: 12/29/08

Project Number: 228-001
Project Title: FARMING CREEK SC - 200
FARMING CREEK ROAD
IRMO, SC 29063



Prepared For: Sesquia Wireless
Drawing Scale: AS NOTED
Date: 12/29/08

Drawing Title: **OVERALL SITE PLAN**
Drawing Number: **C03**

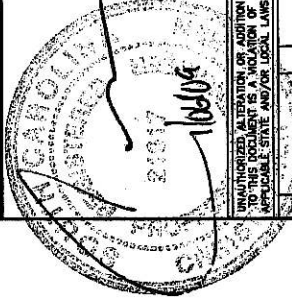


1 OVERALL SITE PLAN
SCALE: 1" = 100'

NOTE: THIS IS NOT AN ACTUAL FIELD SURVEY. BASEMAPPING INFORMATION OBTAINED FROM DRAWINGS AND INFORMATION PROVIDED BY SESQUIA WIRELESS. PROPERTY LINES TO BE VERIFIED BY CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES.

NOTE: EXISTING VEGETATION WILL BE USED TO COMPLY WITH LANDSCAPING ACCORDING TO SECTION 26-173.





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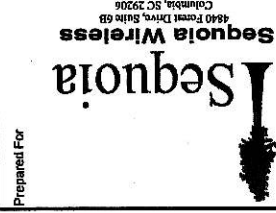
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1	RE-ISSUED FOR REVIEW	PHS	01/05/09
0	ISSUED FOR REVIEW	PHS	12/29/08

Drawn: PHS Date: 12/29/08
Designed: PHS Date: 12/29/08
Checked: SM Date: 12/29/08

Project Number: 229-001

Project Title:

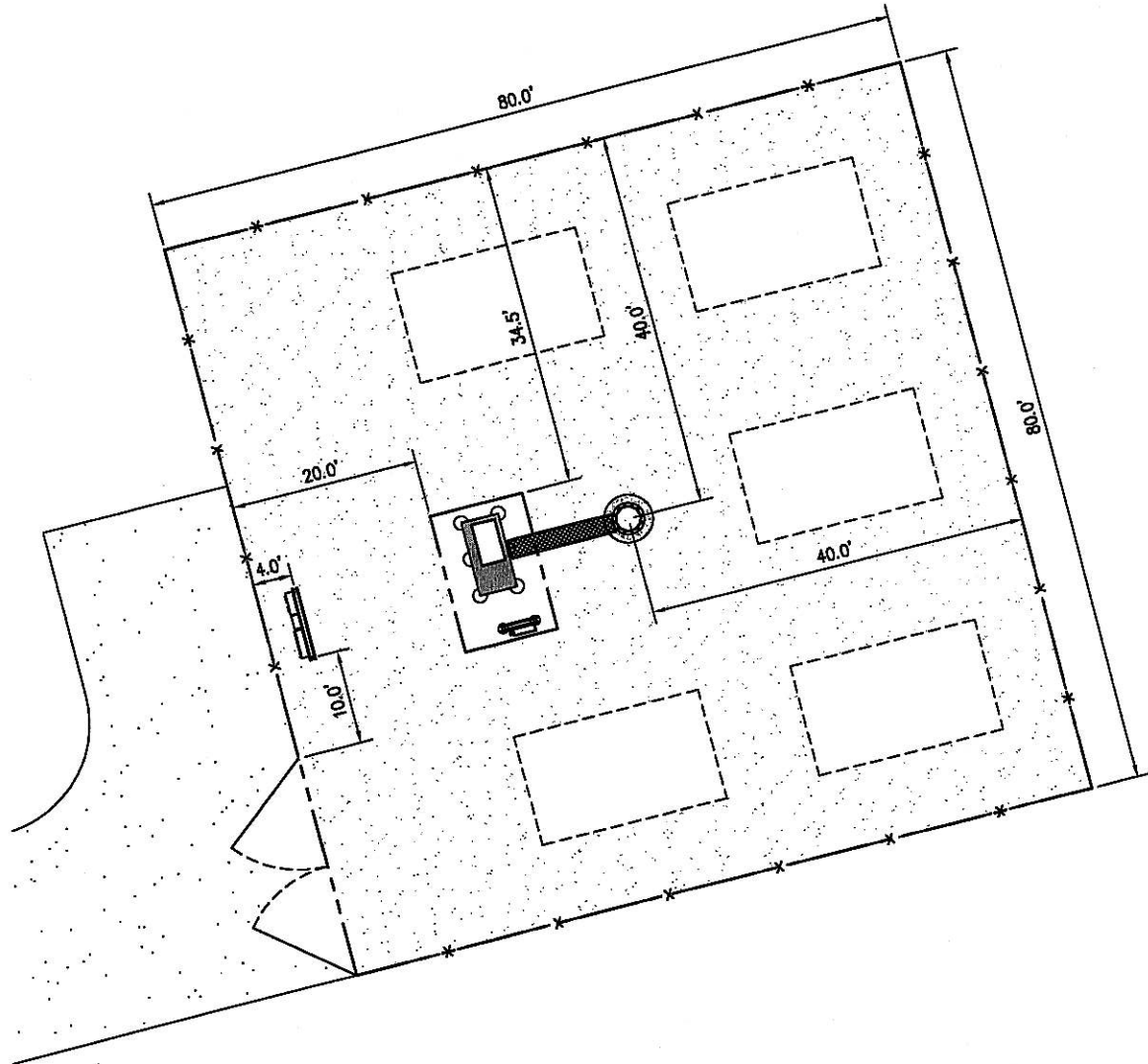
FARMING CREEK
SC - 200
FARMING CREEK ROAD
IRMO, SC 29063



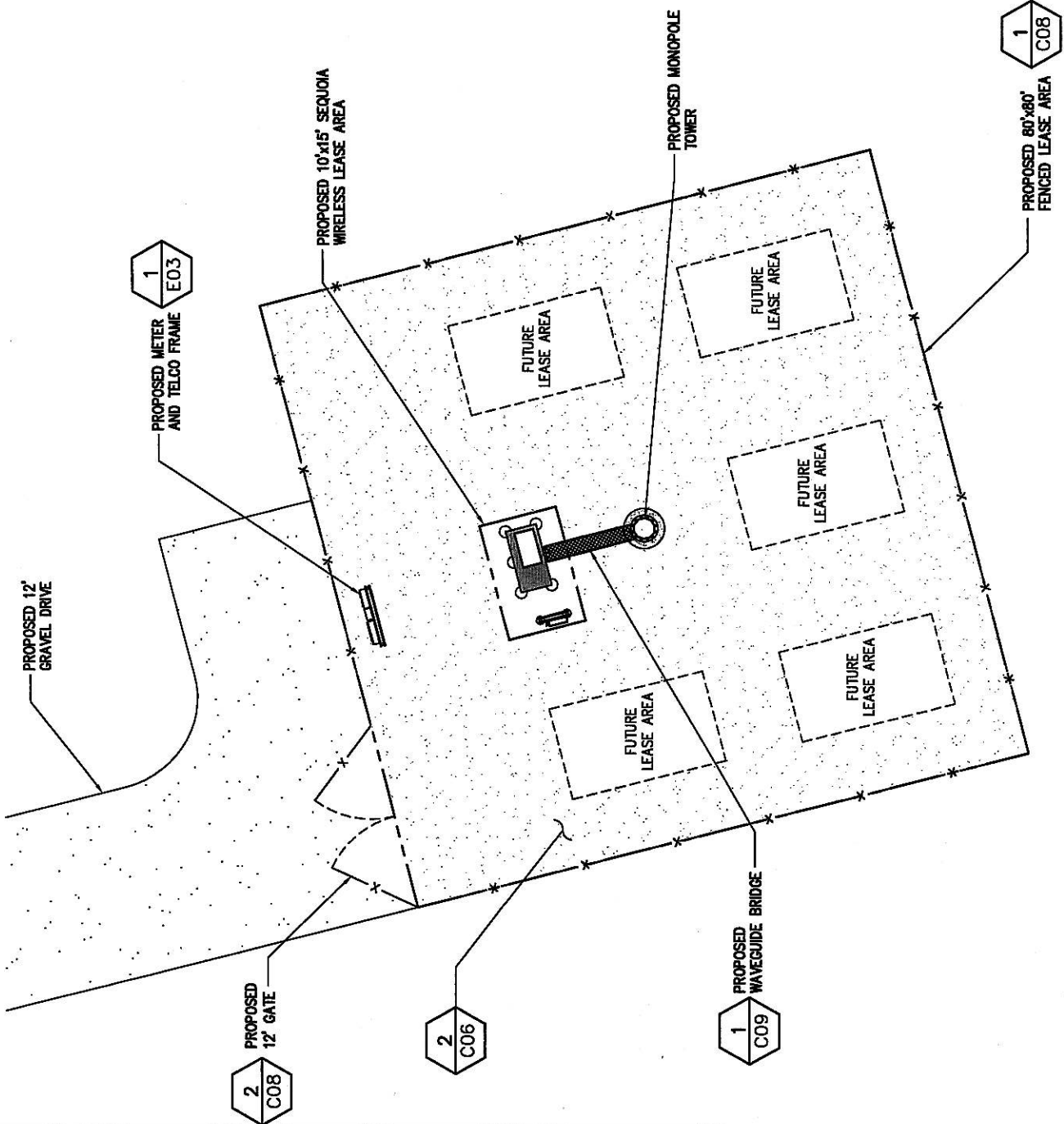
Drawing Scale: AS NOTED
Date: 12/29/08

SITE LAYOUT & STAKING PLAN

Drawing Number: **C04**



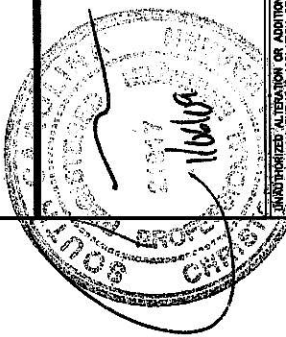
1 STAKING PLAN
SCALE: 1" = 20'
CALLED NORTH



NOTE: EXISTING VEGETATION WILL BE USED TO COMPLY WITH LANDSCAPING ACCORDING TO SECTION 26-173.

1 SITE LAYOUT
SCALE: 1" = 20'
CALLED NORTH





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No.	Submitted / Revision	App'd	Date
2	ISSUED FOR CONSTRUCTION	PKR	01/20/09
1	RE-ISSUED FOR REVIEW	PKR	01/25/09
0	ISSUED FOR REVIEW	PKR	12/29/08

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 Designer: PKR Date: 12/29/08
 Checked: CJM Date: 12/29/08

Project Number: 225-001

Project Title:
FARMING CREEK
SC - 200
 FARMING CREEK ROAD
 IRMO, SC 29063

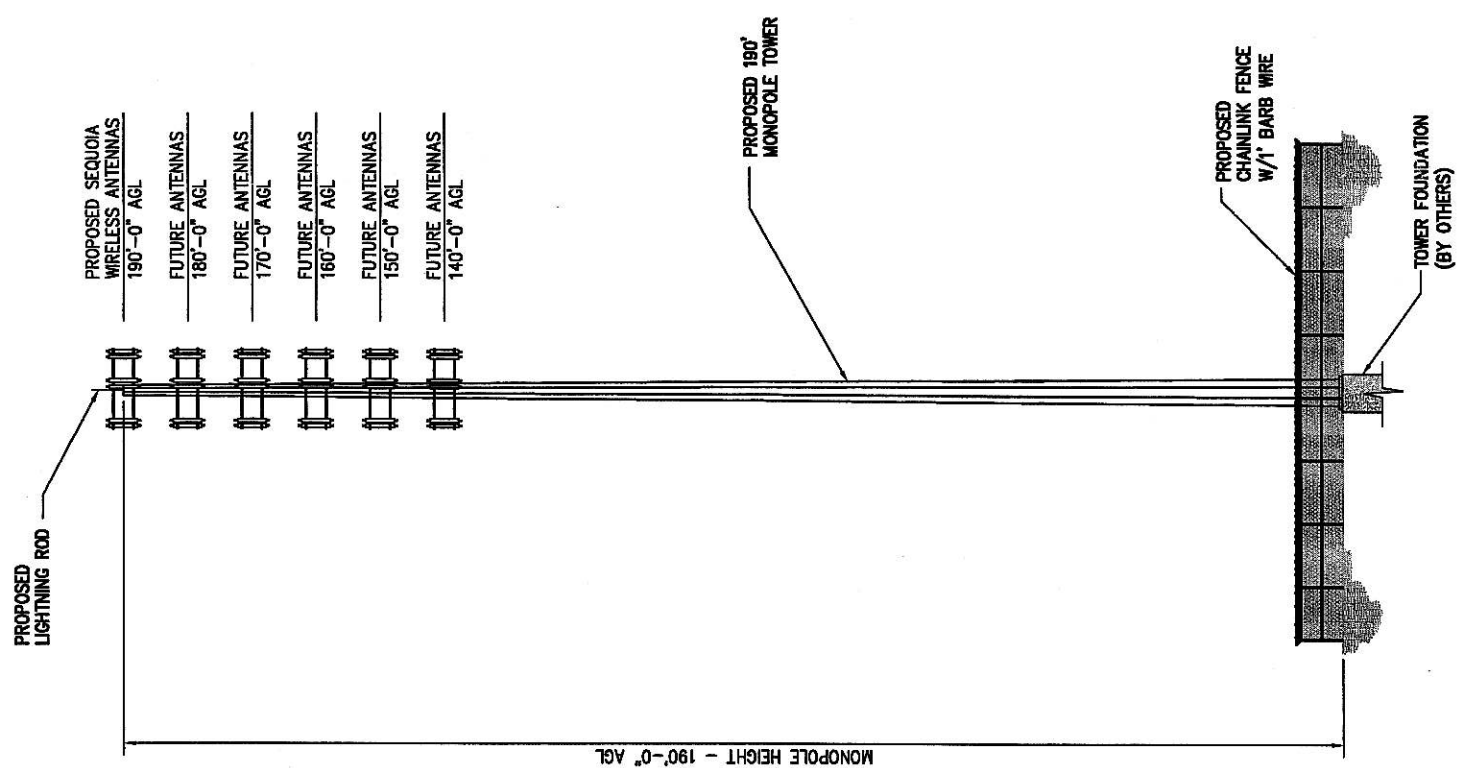
Prepared For:

Sequoia Wireless
 1450 Forest Drive, Suite 69
 Columbia, SC 29206

Drawing Scale:
 AS NOTED
 Date: 12/29/08

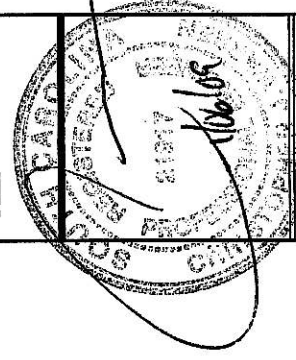
Drawing Title:
TOWER ELEVATION

Drawing Number:
C05



1 TOWER ELEVATION
 NOT TO SCALE

INFINITY ENGINEERING HAS NOT EVALUATED THE PROPOSED TOWER FOR THIS SITE. IT IS THE CARRIER'S RESPONSIBILITY TO INVESTIGATE ANY LOADING CONCERNS WHEN ADDING EQUIPMENT TO THE TOWER.



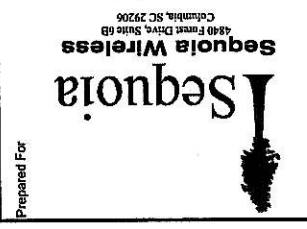
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2	ISSUED FOR REVIEW	PH	12/29/08
3	ISSUED FOR REVIEW	PH	12/29/08
4	ISSUED FOR REVIEW	PH	12/29/08
5	ISSUED FOR REVIEW	PH	12/29/08
6	ISSUED FOR REVIEW	PH	12/29/08
7	ISSUED FOR REVIEW	PH	12/29/08
8	ISSUED FOR REVIEW	PH	12/29/08
9	ISSUED FOR REVIEW	PH	12/29/08
10	ISSUED FOR REVIEW	PH	12/29/08

Project Title
FARMING CREEK
SC - 200

Project Number
298-001

Drawn: PH Date: 12/29/08
Designed: PH Date: 12/29/08
Checked: CM Date: 12/29/08

Prepared For
FARMING CREEK ROAD
IRMO, SC 29063

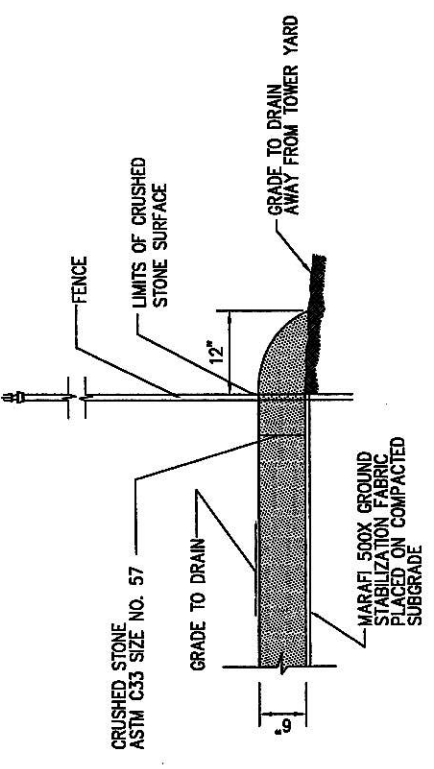


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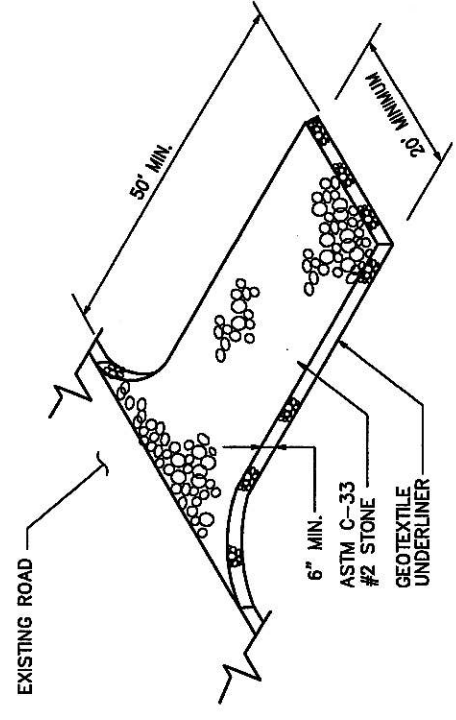
Date:
12/29/08

Drawing Title
GRADING, EROSION & SEDIMENT CONTROL PLAN

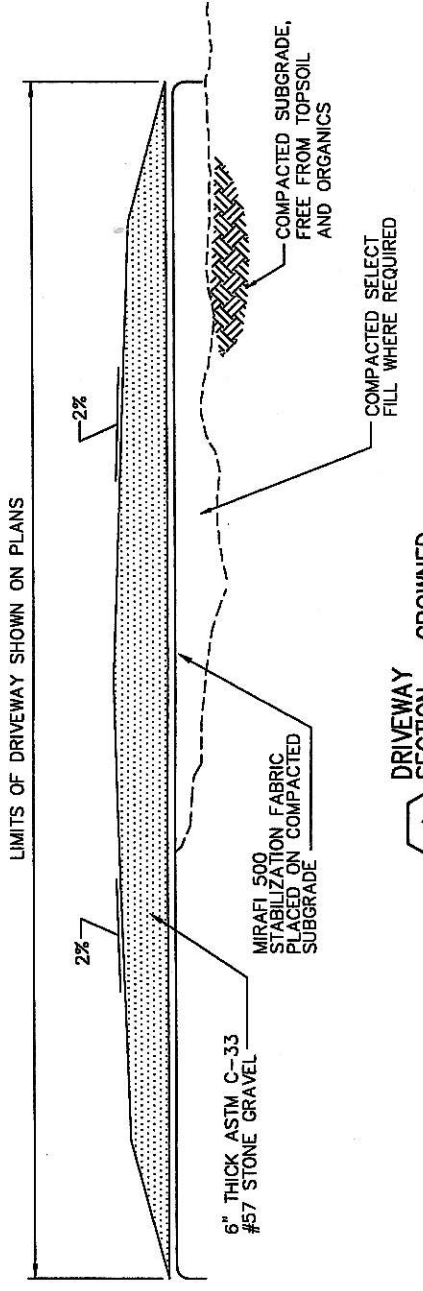
Drawing Number
C06



2 SECTION THROUGH COMPOUND
NOT TO SCALE

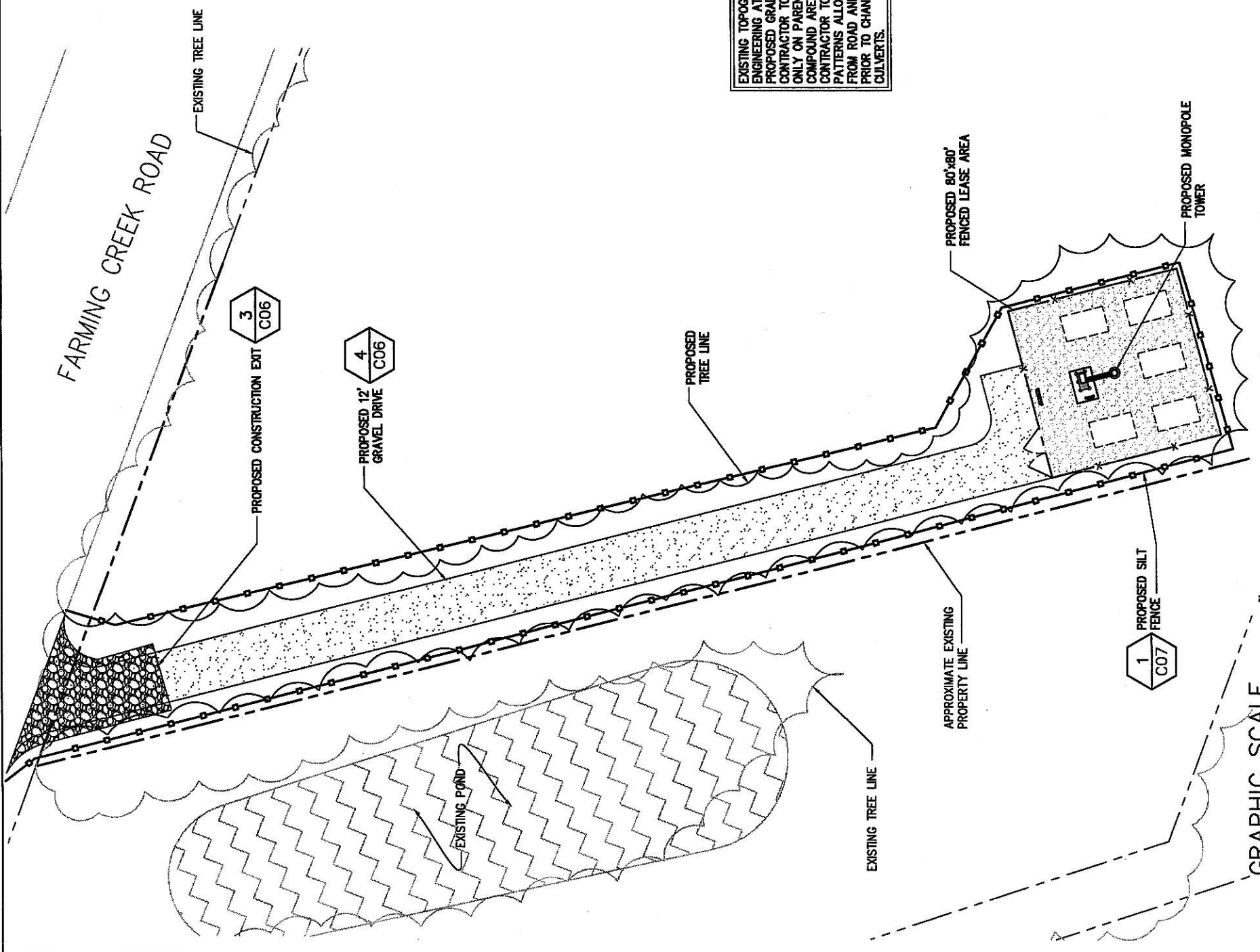


3 CONSTRUCTION EXIT DETAIL
NOT TO SCALE



4 DRIVEWAY SECTION - CROWNED
NOT TO SCALE

EXISTING TOPOGRAPHY WAS NOT AVAILABLE TO INFINGY ENGINEERING AT THE TIME OF DESIGN, THEREFORE, PROPOSED GRADING IS NOT DEPICTED AT THIS TIME. CONTRACTOR TO INSURE ALL GRADING ACTIVITIES OCCUR ONLY ON PARENT PARCEL, AND PROPOSED ROAD AND COMPOUND ARE GRADED TO A UNIFORM SLOPE OF 2%-5%. CONTRACTOR TO INSURE POST CONSTRUCTION DRAINAGE PATTERNS ALLOW FOR CONTINUOUS WATER FLOW AWAY FROM ROAD AND COMPOUND, AND TO NOTIFY ENGINEER PRIOR TO CHANNELING ANY WATER OR PLACING ANY CULVERTS.



GRAPHIC SCALE
0 60'
SCALE: 1" = 60'-0"

1 GRADING, EROSION & SEDIMENT CONTROL PLAN
SCALE: 1" = 30'

GRADING & EXCAVATING NOTES:

- ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUNDWATER. DEWATERING FOR EXCESS GROUNDWATER SHALL BE PROVIDED IF REQUIRED.
- CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
- ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. CRUSHED STONE MAY BE USED TO AS COMPILING CONCRETE THICKNESS.
- AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACKFILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH FOR ANY FILLING OPERATION.
- REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO PLACING FILLS. FLOW, STRIP, OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION OR AERATE SOIL AND RECOMPACT TO REQUIRED DENSITY.
- USE APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND -BE FREE FROM CLODS OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS -BE PLACED IN 6" LAYERS AND COMPACTED TO 95% STANDARD PROCTOR EXCEPT IN GRASSED/LANDSCAPED AREAS, WHERE 90% STANDARD PROCTOR
- REPLACE EXISTING GRAVEL SURFACING ON AREAS FROM WHICH GRAVEL SURFACING IS REMOVED DURING CONSTRUCTION OPERATIONS. GRAVEL SURFACING SHALL BE REPLACED TO MATCH EXISTING ADJACENT GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS. SURFACES OF GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL GRAVEL RESURFACING MATERIAL AS REQUIRED. BEFORE GRAVEL SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL MAY BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE, SUBJECT TO ENGINEER'S APPROVAL.
- DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED/REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
- ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
- ALL CUT AND FILL SLOPES SHALL BE MAXIMUM 3 HORIZONTAL TO 1 VERTICAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING SITE VEHICLE TRAFFIC AS TO NOT ALLOW VEHICLES LEAVING THE SITE TO TRACK MUD ONTO PUBLIC STREETS. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING PUBLIC STREETS DUE TO MUDDY VEHICLES LEAVING THE SITE.

GENERAL EROSION & SEDIMENT CONTROL NOTES:

- THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AND DETAILS AS SHOWN HEREIN AND STIPULATED WITHIN STATE STANDARDS SHALL BE FOLLOWED AND INSTALLED IN A MANNER SO AS TO MINIMIZE SEDIMENT LEAVING THE SITE.
- PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS.
- EROSION CONTROL DEVICES SHALL BE INSTALLED BEFORE GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THOSE SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. CONTRACTOR SHALL CLEAN OUT ALL SEDIMENT PONDS WHEN REQUIRED BY THE ENGINEER OR THE LOCAL JURISDICTION INSPECTOR. CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
- THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT IS WITHIN 12" OF THE TOP OF THE SILT FENCE.
- FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED.
- SILT BARRIERS TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.
- ALL CUT AND FILL SLOPES MUST BE SURFACED ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION.
- CONTRACTOR SHALL REMOVE ALL EROSION & SEDIMENT CONTROL MEASURES AFTER COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

FERTILIZER MIX

APPLICATION	N, #/ACRE	P ₂ O ₅ , #/ACRE	K ₂ O, #/ACRE	N, TOP DRESSING
1st	60 - 90	120 - 180	120 - 180	50
2nd	60	120	120	-

NOTE:

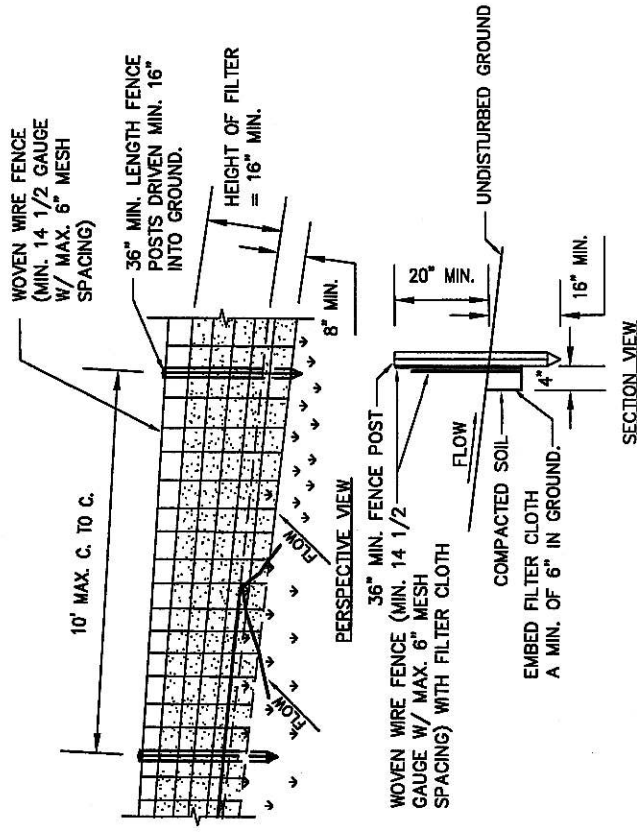
- GRASS AND MULCH ALL DISTURBED AREAS

HYDRAULIC SEEDING EQUIPMENT

WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPING OR SEEDBED PREPARATION WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER MULCH WILL BE MIXED WITH WATER AND APPLIED IN A SLURRY. ALL SLURRY INGREDIENTS MUST BE COMBINED TO FORM A HOMOGENEOUS MIXTURE, AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING. THE MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED.

CONVENTIONAL SEEDING EQUIPMENT

GRADE, SHAPE AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES. THE LIME AND FERTILIZER IN DRY FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDBED PREPARATION. A SEEDBED WILL BE PREPARED BY SCARIFYING TO A DEPTH OF 1 TO 4 INCHES AS DETERMINED ON SITE. THE SEEDBED MUST BE WELL PULVERIZED, SMOOTHED OR FIRMED. SEEDING WILL BE DONE WITH CULTIPACKER-SEEDER, DRILL, ROTARY SEEDER OR OTHER MECHANICAL OR HAND SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESHLY PREPARED SEEDBED AND COVERED LIGHTLY. WITHIN 24 HOURS AFTER SEEDING, STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD WITH BLOWER-TYPE MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AFTER IT IS SPREAD. A DISK HARROW WITH THE DISK SET STRAIGHT OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL.



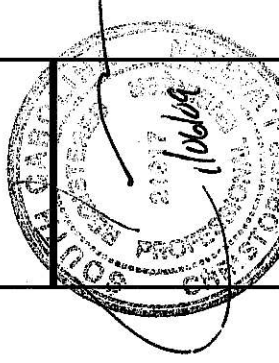
1 SILT FENCE DETAIL

NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "I" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH MESH SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 3" INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFIT 100X, STABILINKA T14-0N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

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2255 SEWELL ROAD
SUITE 130
MARIETTA, GA 30062
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No.	Submittal/Revision	App'd	Date
1	ISSUED FOR REVIEW	PH	01/05/08
2	ISSUED FOR REVIEW	PH	12/29/08
3	ISSUED FOR REVIEW	PH	12/29/08

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Drawn: PHR Date: 12/29/08
 Designer: PHR Date: 12/29/08
 Checked: PHR Date: 12/29/08
 Project Number: 228-001
 Project Title: FARMING CREEK

FARMING CREEK
SC - 200
FARMING CREEK ROAD
IRMO, SC 29063

Prepared For:

Sequia Wireless
1480 Forest Drive, Suite 60
Columbia, SC 29206

Drawing Scale:

AS NOTED

Date:

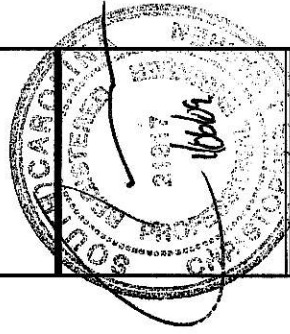
12/29/08

Drawing Title

GRADING, EROSION
& SEDIMENT
CONTROL NOTES

Drawing Number

C07



UNAPPROVED SEPARATION OF OPINION
TO THIS DOCUMENT IS A VIOLATION OF
APPLICABLE STATE AND/OR LOCAL LAWS

No.	Submittal Revision	App'd	Date
2	ISSUED FOR CONSTRUCTION	PHS	01/26/08
1	RE-ISSUED FOR REVIEW	PHS	01/05/08
0	ISSUED FOR REVIEW	PHS	12/29/07

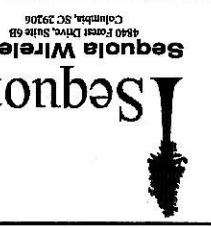
Drawn: **PHS** Date: 12/29/07
Designed: **PHS** Date: 12/29/07
Checked: **PHS** Date: 12/29/07

Project Number: 228-001

Project Title:
**FARMING CREEK
SC - 200**

FARMING CREEK ROAD
IRMO, SC 29063

Prepared For:
Sequoia Wireless

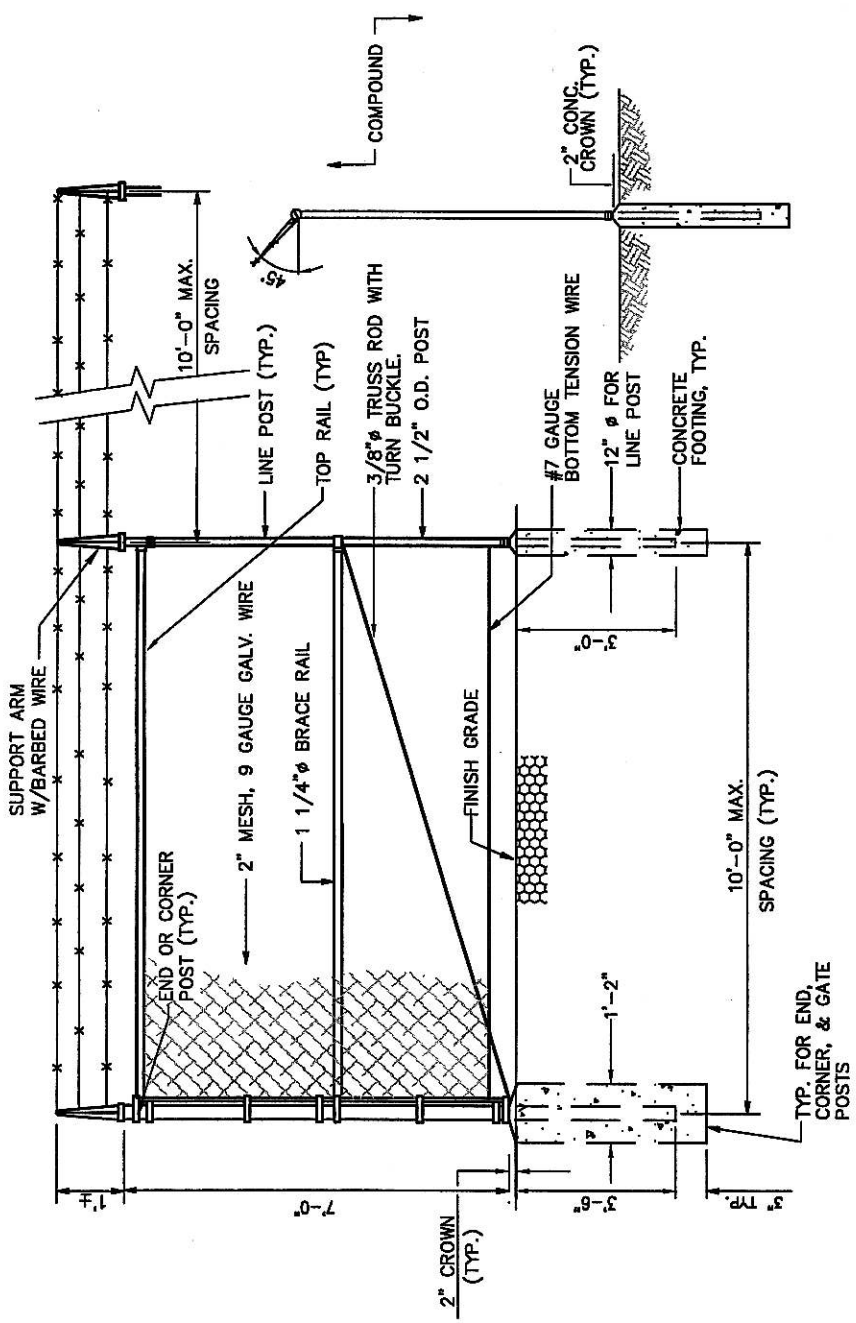


Drawing Scale:
AS NOTED

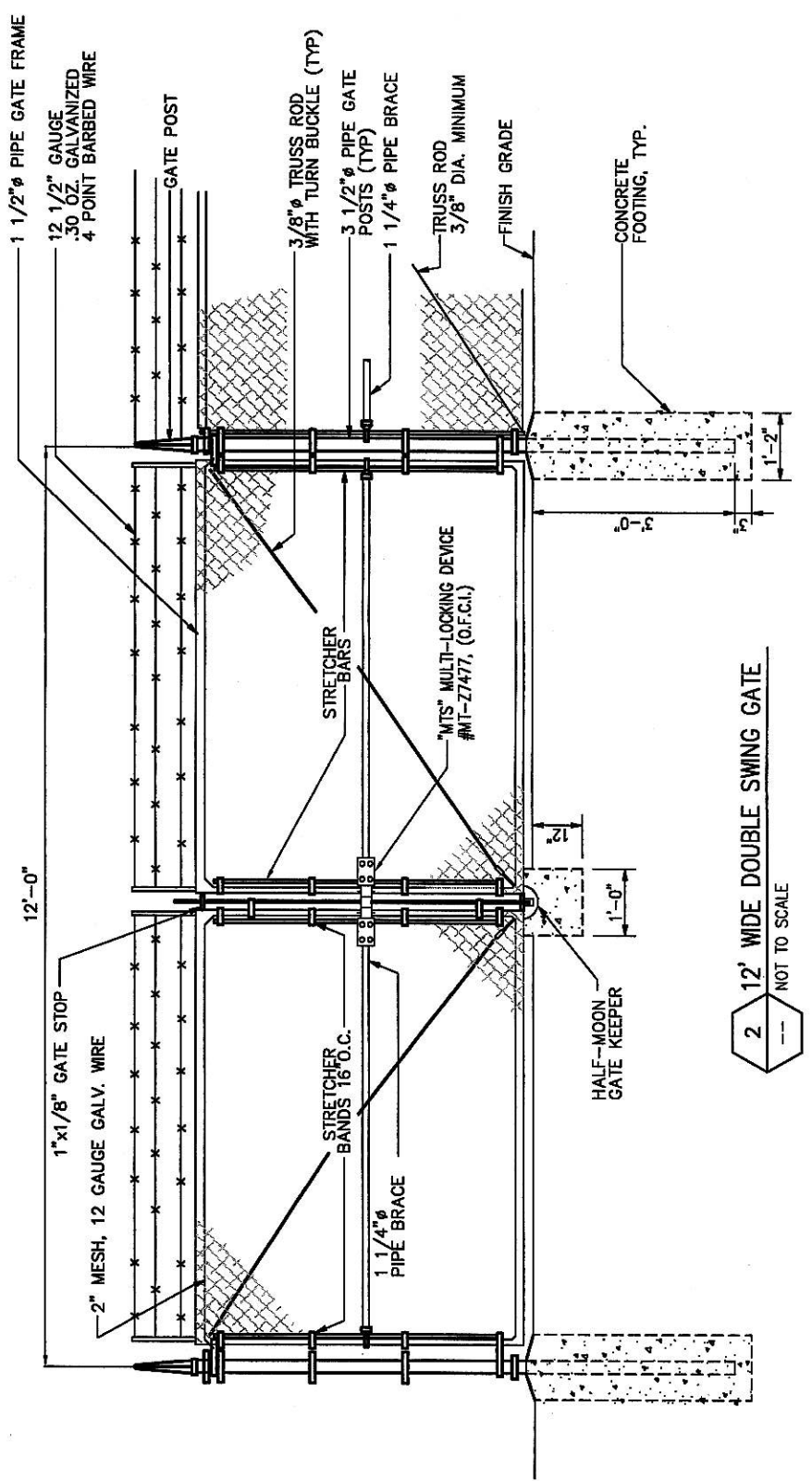
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12/29/07

Drawing Title:
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DETAILS**

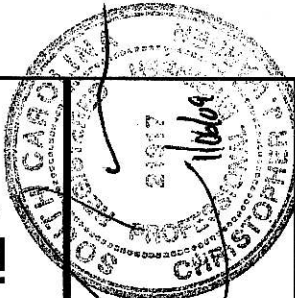
Drawing Number:
C08



1 CHAIN LINK FENCE DETAIL (ELEVATION)
NOT TO SCALE



2 12' WIDE DOUBLE SWING GATE
NOT TO SCALE



UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE STATE AND/OR LOCAL LAWS.

No.	Submitted/Revision	App'd	Date
0			
1	ISSUED FOR REVIEW	PKR	12/29/08
2	ISSUED FOR CONSTRUCTION	PKR	01/09/09

Drawn: PKR Date: 12/29/08
Designed: PKR Date: 12/29/08
Checked: GM Date: 12/29/08

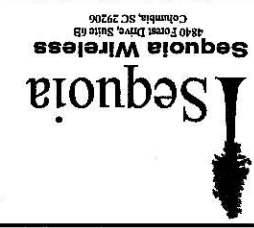
Project Number: 228-001

Project Title:

**FARMING CREEK
SC - 200**

FARMING CREEK ROAD
IRMO, SC 29063

Prepared For:



Drawing Scale:
AS NOTED

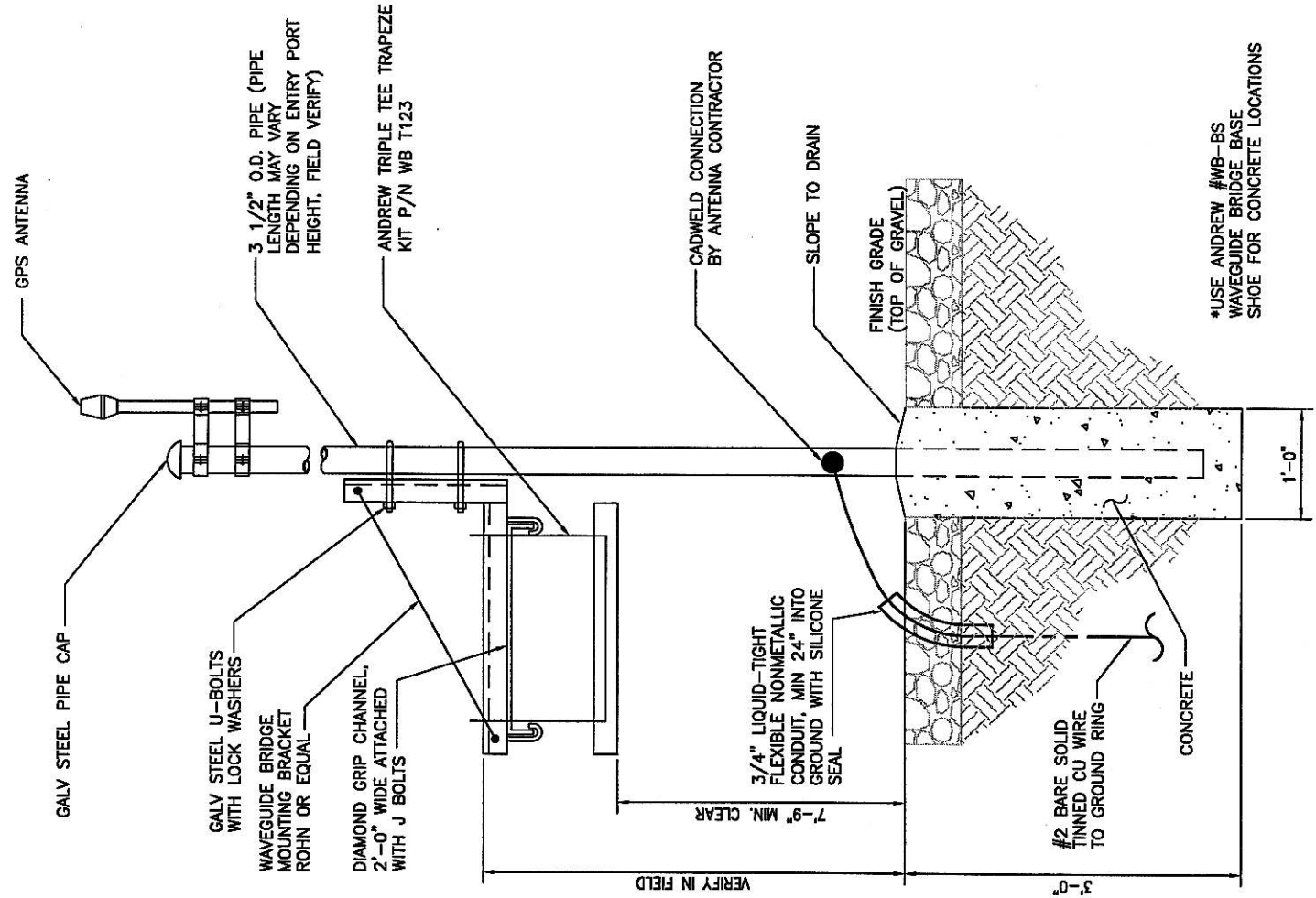
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12/29/08

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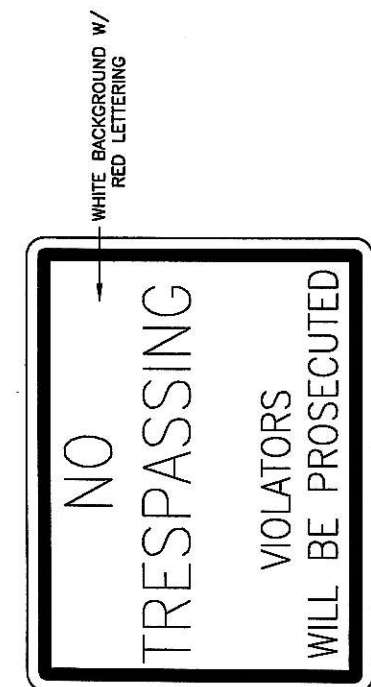
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DETAILS**

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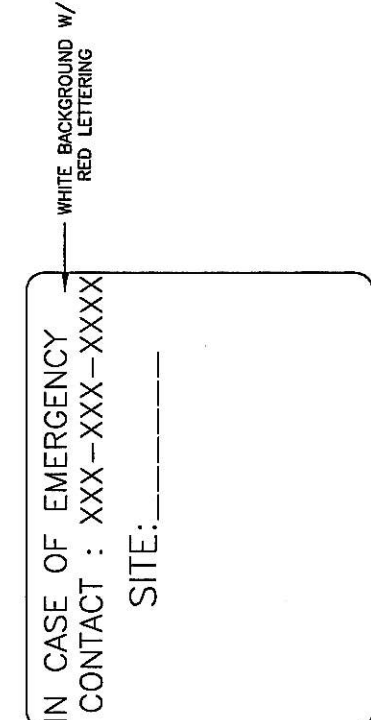
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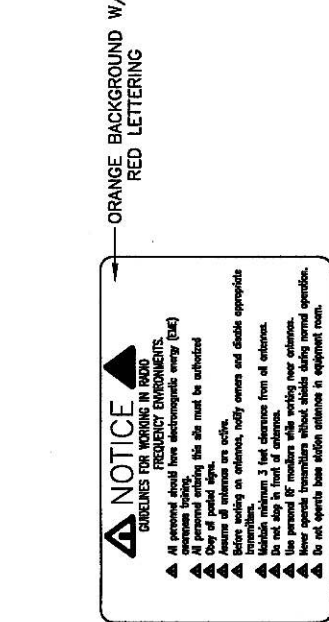
1 ICE BRIDGE SIDE VIEW ELEVATION
NOT TO SCALE



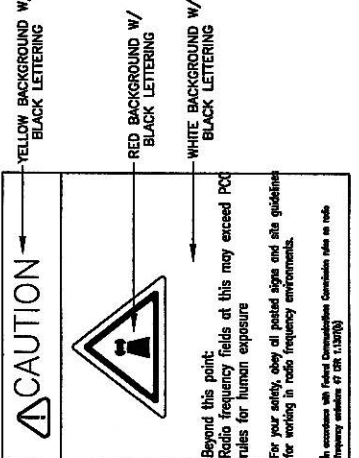
① NO-TRESPASSING SIGN
18" HIGH X 24" WIDE



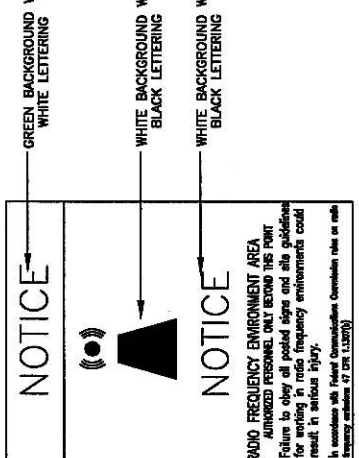
② SEQUOIA WIRELESS-SITE ID SIGN
18" HIGH X 24" WIDE



③ NOTICE-RFE SIGN
12" WIDE X 18" HIGH



⑤ CAUTION-RF-SIGN (YELLOW)
12" WIDE X 18" HIGH

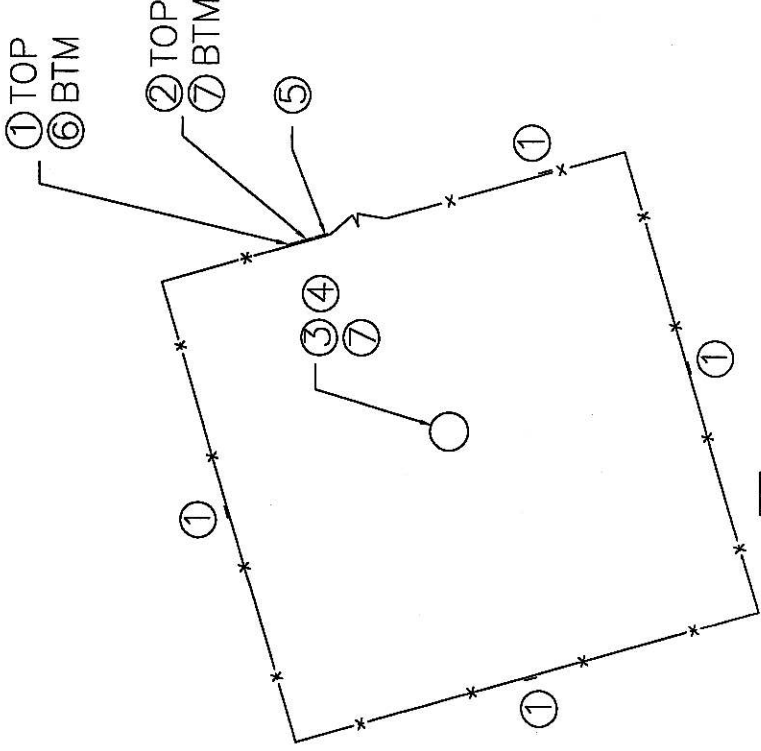


⑥ NOTICE-RF SIGN (BLUE)
12" WIDE X 18" HIGH

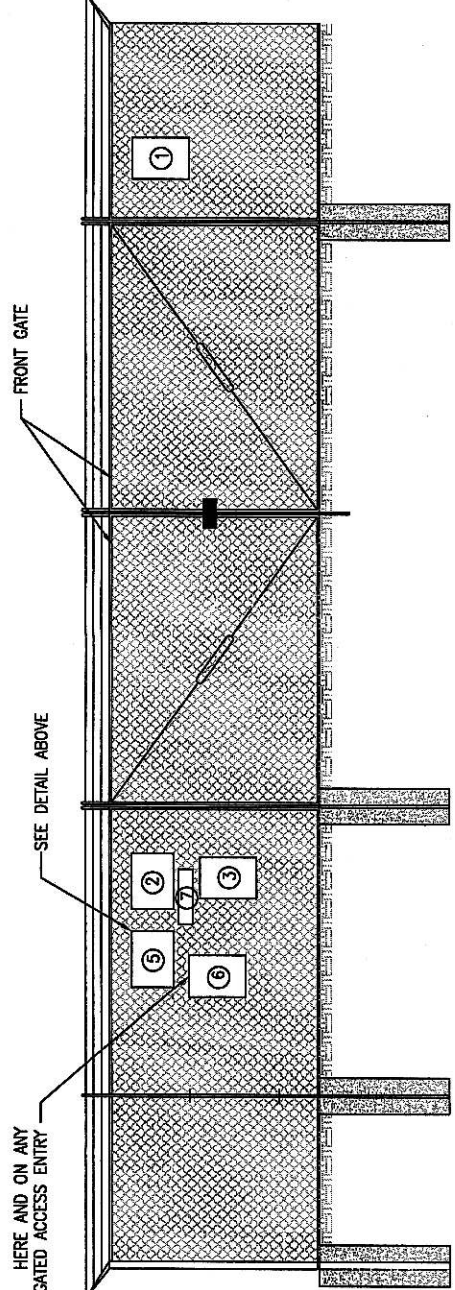


⑦ FCC REGISTRATION SIGN
20" WIDE X 4" HIGH

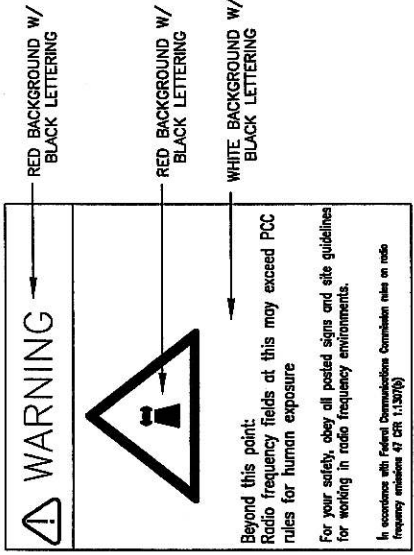
② TYPICAL SIGNS AND SPECIFICATIONS
NOT TO SCALE



① TYPICAL SIGN PLACEMENT PLAN VIEW
NOT TO SCALE



③ SITE SIGNAGE FRONT GATE VIEW
NOT TO SCALE



④ WARNING-RF SIGN (RED)
12" WIDE X 18" HIGH

SIGNAGE NOTES:

- SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
- SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE AND FENCE USING A MINIMUM OF 9-GAUGE ALUMINUM WIRE, HOG RINGS (AS USED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.

intiniq
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1	ISSUED FOR CONSTRUCTION	PHE	01/06/08
2	RE-ISSUED FOR REVIEW	PHE	01/05/08
3	ISSUED FOR REVIEW	PHE	12/29/08
4	Submittal/Revision	PP/PL	Date

Drawn: PHE Date: 12/29/08
Designed: PHE Date: 12/29/08
Checked: CML Date: 12/29/08

Project Number: 229-001

Sequoia Wireless
1440 Forest Drive, Suite 69
Columbia, SC 29206

Prepared For:
FARMING CREEK
SC - 200

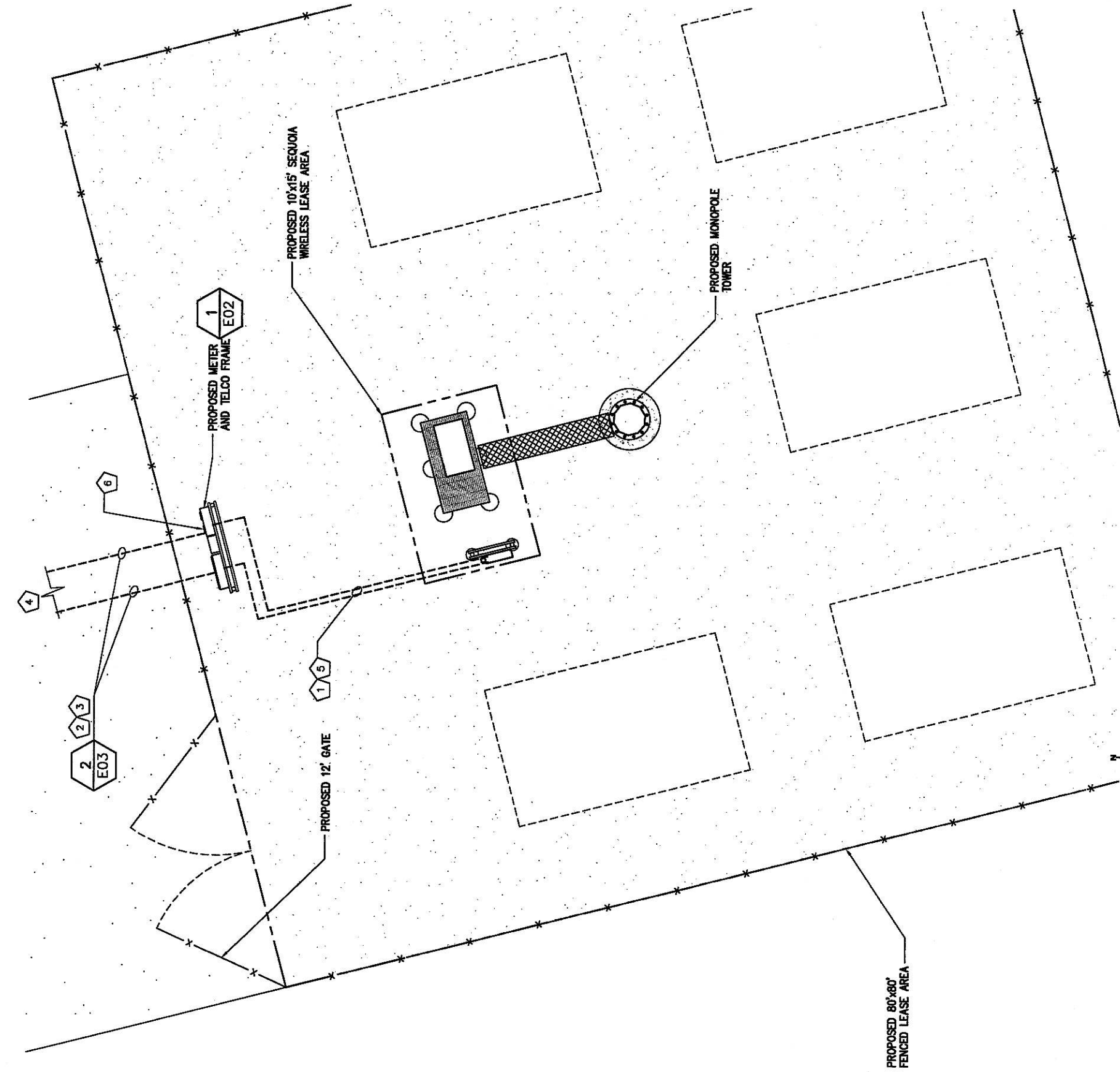
FARMING CREEK ROAD
IRMO, SC 29063

Drawing Title:
SITE SIGNAGE DETAILS

Drawing Number:
C10

CODED DRAWING NOTES:

- 1 3-#3/0 & 1-#6 GND IN 3-1/2" PVC CONDUIT FROM POWER FRAME TO PROPOSED EQUIPMENT UTILITY RACK.
- 2 CONTRACTOR TO PROVIDE AND INSTALL 4" PVC CONDUIT WITH PULLWIRE FROM TELCO SOURCE TO TELCO BOX.
- 3 CONTRACTOR TO PROVIDE AND INSTALL (2) SETS OF 3-500 MCM W/(2) 3-1/2" PVC CONDUIT WITH PULLWIRE FROM POWER SOURCE TO MULTI METER FRAME.
- 4 COORDINATE EXACT CONDUIT ROUTING/DEMARC WITH CONSTRUCTION MANAGER AND UTILITY COMPANIES.
- 5 CONTRACTOR TO PROVIDE AND INSTALL (1) 4" PVC CONDUIT WITH PULLWIRE FROM TELCO BOX TO CARRIER EQUIPMENT.
- 6 200A COMBINATION METER/CIRCUIT BREAKER FOR SEQUOIA WIRELESS. METER BY UTILITIES.



GRAPHIC SCALE



SCALE: 1" = 10'-0"

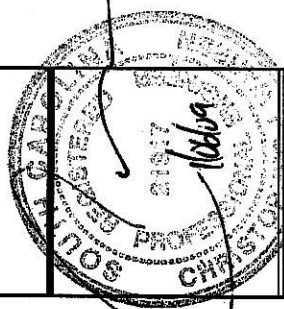
1 ELECTRICAL PLAN
SCALE: 1" = 10'

↑ CALLED NORTH

GENERAL ELECTRICAL NOTES

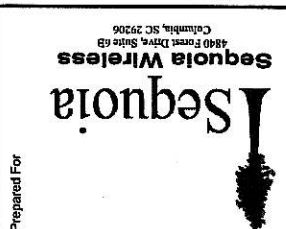
- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE ELECTRICAL STANDARD SPECIFICATIONS.
- 2. COORDINATE ALL CONDUIT STUB-UP LOCATIONS WITH UTILITY COMPANY.
- 3. PROVIDE WEATHERPROOF SEALS FOR ALL CONDUIT STUB-UPS.
- 4. ALL STUBBED OUT CONDUIT SHALL BE TURNED UP AND CAPPED 6" ABOVE GRADE.
- 5. POWER COMPANY SHALL TERMINATE THE POWER CABLES (SUPPLIED AND INSTALLED BY POWER COMPANY) AT THE UTILITY METER.
- 6. ALL CONDUCTORS SHALL BE COPPER. ALUMINUM CONDUCTORS SHALL NOT BE USED.
- 7. ALL CONDUCTORS SHALL BE PREPARED FOR TERMINATION, COILED BAGGED AND SECURED FOR FUTURE CONNECTION OF OTHERS.
- 8. ALL CONDUCTORS TERMINATION IN THE COMMUNICATION EQUIPMENT SHALL HAVE A MINIMUM OF 8'-0" OF SLACK FOR INSTALLATION INTO EQUIPMENT.

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2255 SEWELL MILL ROAD
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MARIETTA, GA 30062
TEL: 678-444-4463
FAX: 678-444-4472



No.	Submittal/Revision	App'd	Date
1	ISSUED FOR REVIEW	PHE	12/29/08
2	ISSUED FOR CONSTRUCTION	PHE	10/28/09
3	RE-ISSUED FOR REVIEW	PHE	07/25/09
4	ISSUED FOR REVIEW	PHE	12/29/08

Drawn: PHE Date: 12/29/08
Designed: PHE Date: 12/29/08
Checked: CJW Date: 12/29/08
Project Number: 228-001
Project Title: FARMING CREEK SC - 200
FARMING CREEK ROAD
IRMO, SC 29063

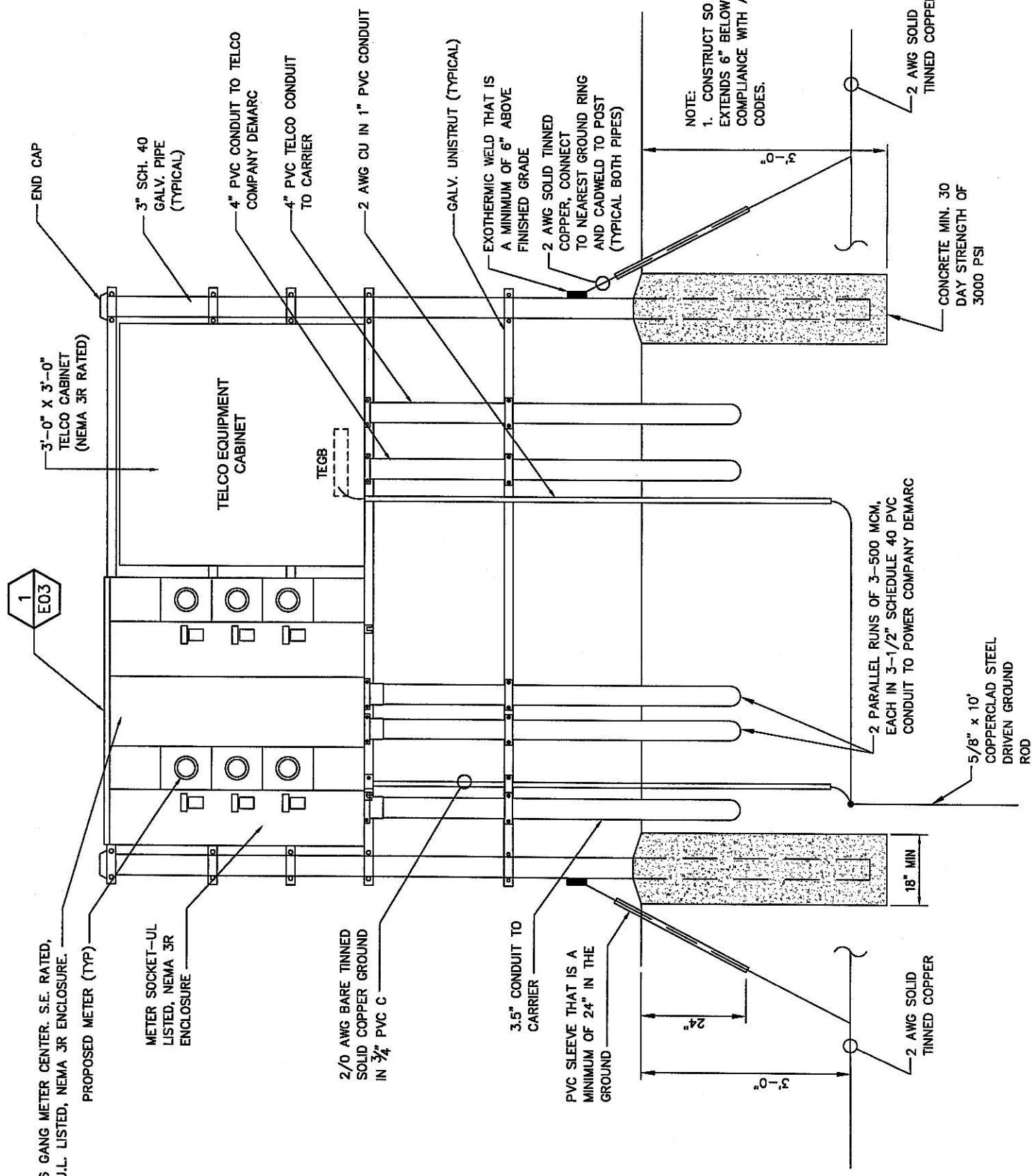


Prepared For: Sequoia Wireless
Drawing Title: ELECTRICAL PLAN
Drawing Number: E01
Drawing Scale: AS NOTED
Date: 12/29/08

GENERAL NOTES:

- 1-ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, STATE BUILDING CODES AND THE LOCAL BUILDING CODES. ALL COMPONENTS SHALL BE U.L. LISTED.
- 2-REFER TO SITE LAYOUT PLAN FOR THE EXACT LOCATION OF H-FRAME.
- 3-CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY FOR METER.
- 4-CONTRACTOR TO PROVIDE AND INSTALL METER SOCKET.
- 5-CONTRACTOR TO LOCATE METER RACK TO ENSURE WORKING SPACES REQUIRED BY THE NEC (ART. 110.26), STATE, OR LOCAL CODES ARE MAINTAINED BETWEEN FRONT OF ENCLOSURES AND FENCE.

- 6-SHOW LOCATION (INCLUDING DIMENSIONS) OF ALL CAPPED UNDERGROUND CONDUIT ON FINAL AS-BUILT DRAWINGS SUBMITTED TO OWNER.
- 7-COORDINATE EXACT LOCATION OF UNDERGROUND FEEDERS AND CIRCUITRY WITH THE OWNER.
- 8-CONTRACTOR SHALL COORDINATE WITH LOCAL ELECTRICAL AUTHORITY HAVING JURISDICTION (AHJ) AND OTHER TRADES TO DETERMINE "FROST" LINE, AND TYPES OF RACEWAYS REQUIRED FOR INSTALLATION.
- 9-ALL CONDUITS ABOVE GROUND SHALL BE GALVANIZED CONDUIT.

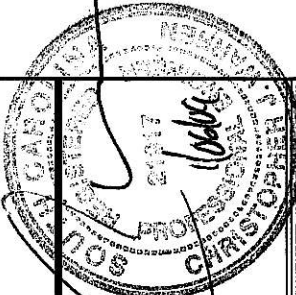


1 H-FRAME DETAIL
NOT TO SCALE

GENERAL ELECTRICAL NOTES

1. PROVIDE 1"x6" GROUND BAR IN TELCO BOX SUITABLE FOR CONNECTING TO #6 AWG STRANDED WIRE. PROVIDE 3'-0" SECTION OF #6 WIRE FOR USE BY TELEPHONE COMPANY.
2. PROVIDE 3"x3"x8" TELCO DISTRIBUTION PANEL (MINIMUM 50 PAIR TERMINAL) MOUNTED TO VERTICAL UNISTRUT ON EQUIPMENT SUPPORT FRAME OPPOSITE OF UTILITY METERS.
3. COORDINATE METER ENCLOSURE AND FUSED/BREAKER DISCONNECT SWITCH ACCEPTABILITY WITH LOCAL UTILITY COMPANY PRIOR TO ORDERING AND INSTALLATION.
4. METER ENCLOSURE SHALL BE SQUARE D OR APPROVED EQUIVALENT. AND SHALL INCLUDE ACCESSORIES AND MOUNTING BRACKETS SUITABLE FOR OUTDOOR INSTALLATION. ENCLOSURE SHALL BE MOUNTED TO THE VERTICAL UNISTRUT ATTACHED TO THE EQUIPMENT SUPPORT FRAME.
5. DETAIL DEPICTS SQUARE D PRODUCTS, AS DESCRIBED ABOVE. ACTUAL DIMENSIONS MAY VARY DEPENDING ON INSTALLED EQUIPMENT.
6. CONNECT NEUTRAL TERMINAL IN DISCONNECTING DEVICE TO SERVICE ENTRANCE GROUND ROD.
7. REFER TO ELECTRICAL SITE PLAN AND POWER & TELEPHONE DIAGRAM FOR CONDUIT AND CONDUCTOR REQUIREMENTS.
8. ALL WORK SHALL CONFORM TO NATIONAL ELECTRICAL CODE (NEC) AND THE LOCAL BUILDING CODES. ALL COMPONENTS SHALL BE U.L. APPROVED.
9. THE SERVICE ENTRANCE GROUND WIRE MUST GO DIRECTLY TO THE SERVICE ENTRANCE GROUND ROD WITHOUT CONNECTING TO ANYTHING ELSE. IF THE SERVICE ENTRANCE GROUND ROD IS PART OF THE GROUND RING, THEN THE GROUND RING WIRES CAN CONNECT TO THIS GROUND ROD. ALSO, OTHERWISE, A #2 AWG GROUND WIRE IS TO CONNECT THIS GROUND ROD TO THE GROUND RING.
10. THESE CONDUITS WERE SHOWN FOR DESIGN CONCEPT ONLY. COORDINATE EXACT QUANTITY AND SIZE CONDUIT WITH THE ELECTRIC POWER UTILITY.
11. CONTRACTOR TO CONFIRM PVC SCHEDULE 40 CAN BE USED ON ALL RUNS.

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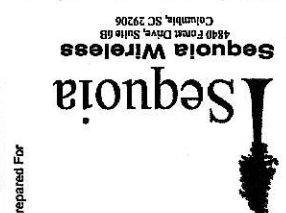
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2	ISSUED FOR CONSTRUCTION	RHE	01/29/08
1	RE-ISSUED FOR REVIEW	RHE	01/29/08
0	ISSUED FOR REVIEW	RHE	12/29/07

Drawn: RHE Date: 12/29/07
Designed: RHE Date: 12/29/07
Checked: CM Date: 12/29/07

Project Number: 228-001
Project Title: FARMING CREEK

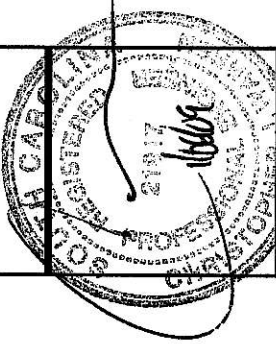
SC-200
FARMING CREEK ROAD
IRMO, SC 29063



Drawing Scale: AS NOTED
Date: 12/29/07

ELECTRICAL DETAILS

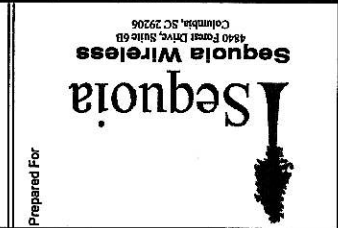
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3	ISSUED FOR REVIEW	PHE	01/06/09
4	ISSUED FOR REVIEW	PHE	12/29/08
No.	Submittal Revision	App'd	Date

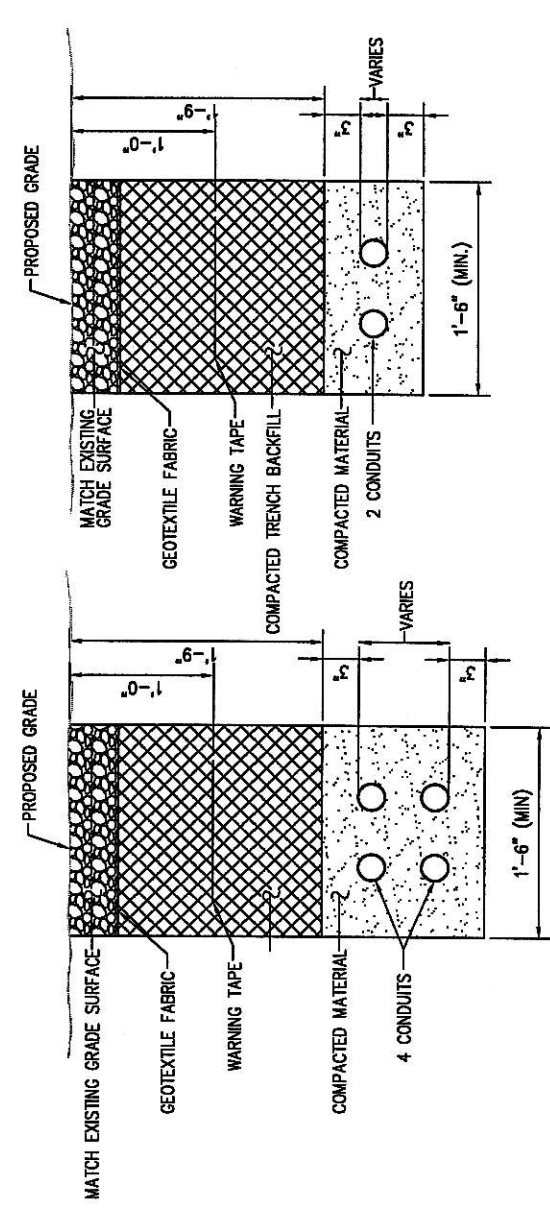
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Project Number: 228-001
Project Title:

FARMING CREEK
SC - 200
FARMING CREEK ROAD
IRMO, SC 29063

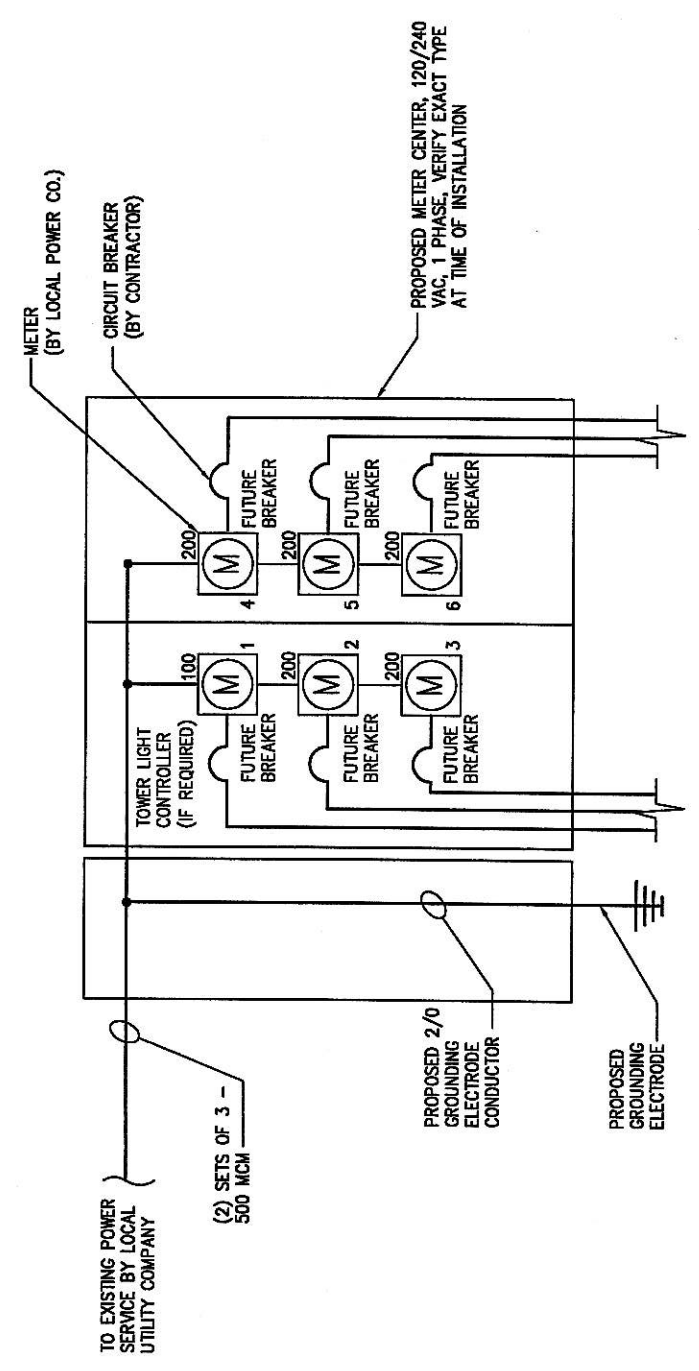


Prepared For:
Drawing Scale: AS NOTED
Date: 12/29/08

Drawing Title:
ELECTRICAL DETAILS
Drawing Number: **E03**



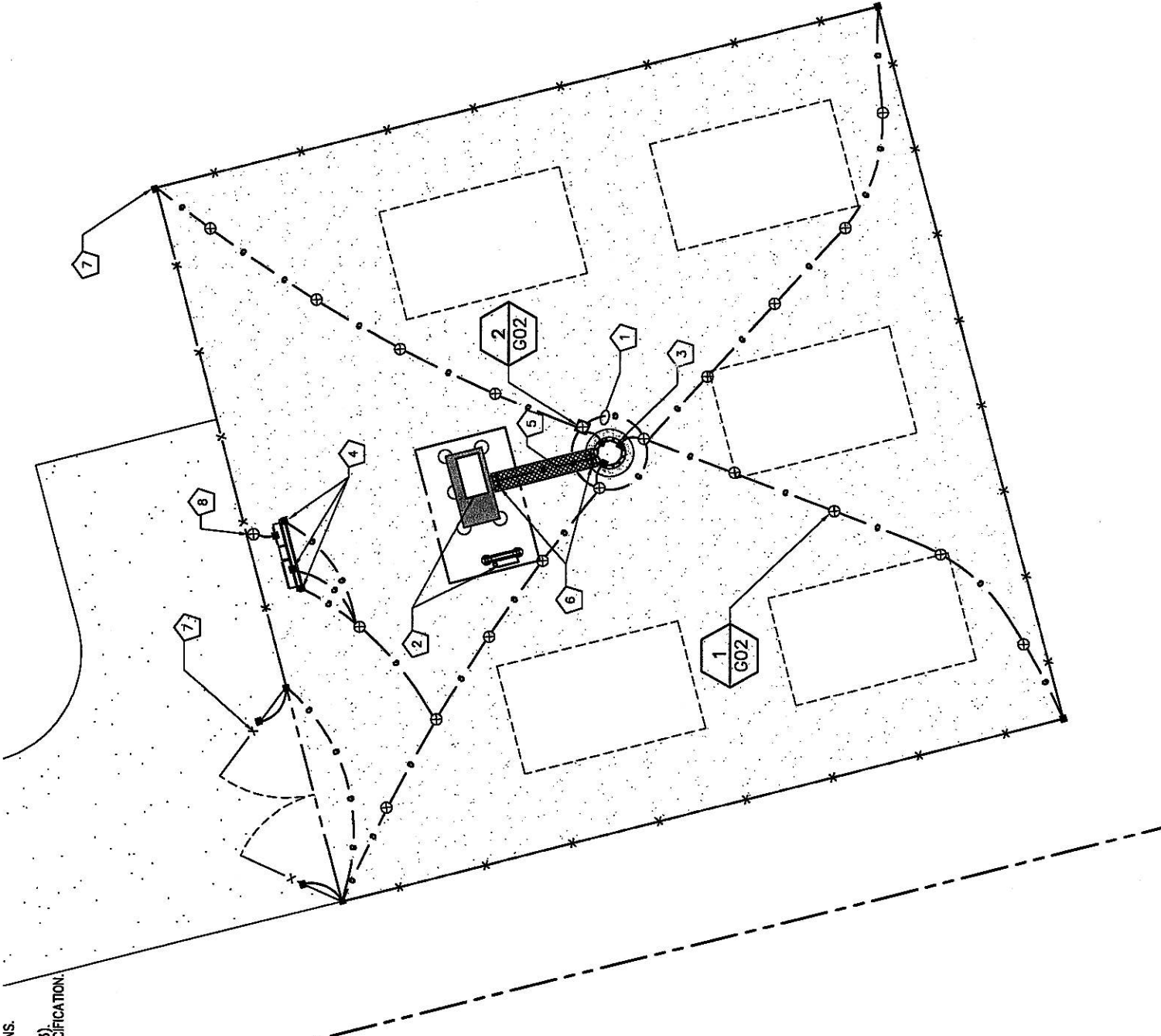
2 UTILITY TRENCH DETAIL
NOT TO SCALE



1 ELECTRICAL SINGLE ONE-LINE DIAGRAM
NOT TO SCALE

CODED DRAWING NOTES

- 1 PROVIDE #2 COPPER GROUND RING (MIN. 1'-6" FROM OUTSIDE EDGE OF TOWER FOUNDATION AND SLAB) BURIED AT MINIMUM 36" BELOW GRADE.
- 2 GROUND CARRIER EQUIPMENT PER CARRIER EQUIPMENT SPECIFICATIONS.
- 3 CONNECT TOWER BASE TO GROUND ROD IN TOWER RING (TYP. FOR 3) CADWELD TO TOWER BASE PLATE OR AS PER MANUFACTURER'S SPECIFICATION.
- 4 CONNECT MULTI-TENANT POWER AND TELCO FRAME TO PROPOSED COMPOUND GROUND RING.
- 5 #2 SOLID-TINNED COPPER GROUND WIRE RUN WITH COAX CABLE FROM GROUND BAR TO GROUND RING.
- 6 BOND GROUND BARS TO GROUND RING.
- 7 BOND PROPOSED FENCE CORNERS AND GATES TO GROUND RING.
- 8 GROUND METER PER UTILITY COMPANY REQUIREMENTS.



1 GROUNDING PLAN
SCALE: 1/16" = 1'



GROUNDING NOTES

- 1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL OTHER APPLICABLE LOCAL CODES.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION SO AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT.
- 3. ALL GROUND CONNECTIONS BELOW GRADE SHALL BE EXOTHERMIC (CADWELD).
- 4. ALL GROUND CONNECTIONS ABOVE GRADE SHALL BE FORMED USING 2-HOLE LUGS AND TWO (2) HIGH PRESS CRIMPS.
- 5. ALL EXOTHERMIC MECHANICAL CONNECTIONS TO THE GROUND RODS SHALL START AT THE TOP & HAVE A VERTICAL SEPARATION OF 6" FOR EVERY ADDITIONAL CONNECTION.
- 6. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
- 7. ALL EXTERIOR GROUND CONDUCTORS SHALL BE #2 SOLID AWG TIN PLATED COPPER UNLESS OTHERWISE INDICATED.
- 8. GROUND RODS SHALL BE STAINLESS STEEL OR COPPER CLAD STEEL, 5/8" 10-FT. LONG, AND SHALL BE DRIVEN VERTICALLY WITH THEIR TOPS 36" BELOW FINAL GRADE.
- 9. CONNECTIONS TO THE GROUND BARS SHALL NOT BE DOUBLED UP OR STACKED. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BAR ARE PERMITTED.
- 10. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
- 11. MAXIMUM RESISTANCE OF THE COMPLETED GROUND SYSTEM SHALL NOT EXCEED 10 OHMS.



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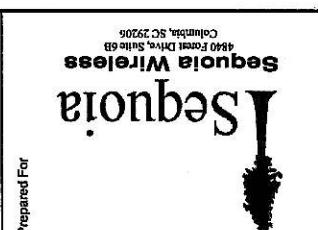
No.	Submittal/Revision	Issued	Date
1	ISSUED FOR REVIEW	PHR	01/05/08
2	ISSUED FOR CONSTRUCTION	PHR	01/06/08

UNLESS OTHERWISE NOTED, ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF APPLICABLE STATE AND/OR LOCAL LAWS.

Drawn: PHR Date: 01/05/08
Designed: PHR Date: 01/05/08
Checked: DM Date: 01/05/08

Project Number: 228-001
Project Title: FARMING CREEK SC - 200

FARMING CREEK
SC - 200
FARMING CREEK ROAD
IRMO, SC 29063

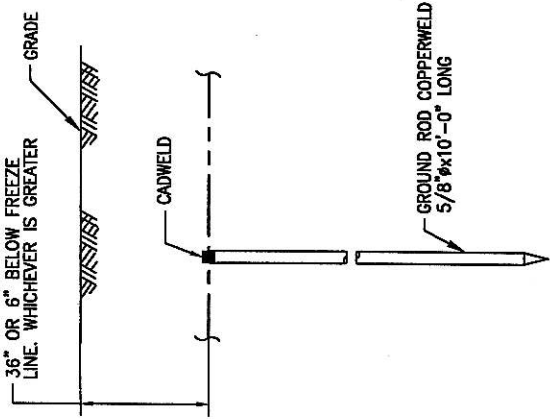


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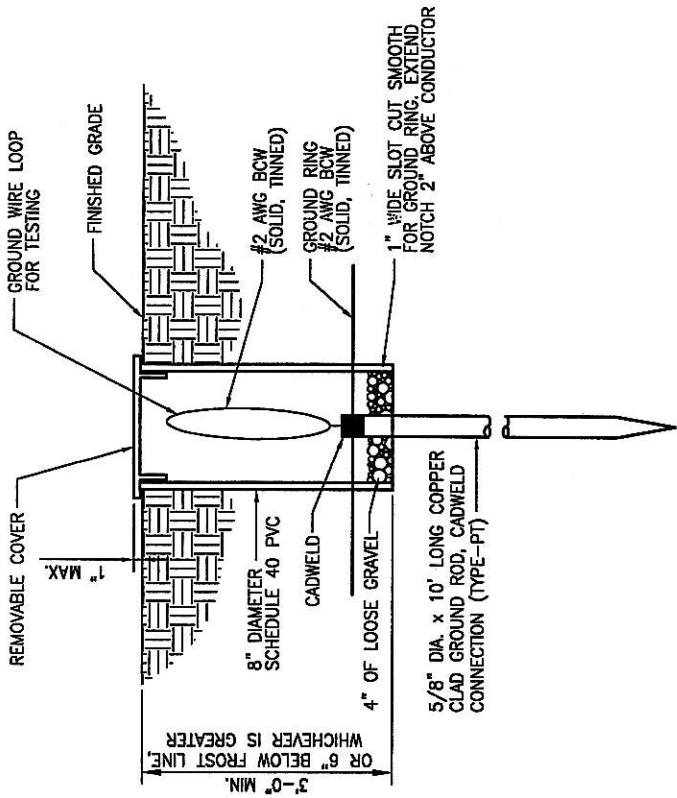
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12/28/08

Drawing Title
GROUNDING PLAN

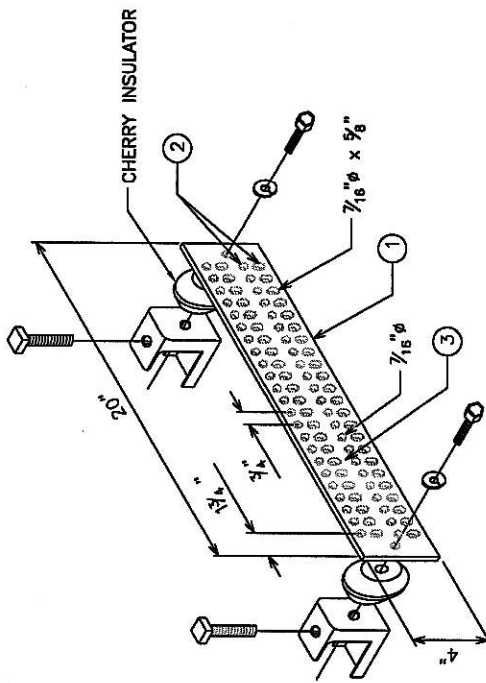
Drawing Number
G01



1 COPPER-CLAD STEEL GROUND ROD
NOT TO SCALE



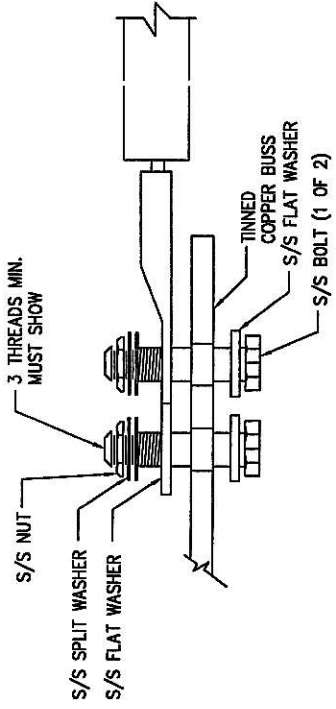
2 INSPECTION SLEEVE DETAIL
NOT TO SCALE



LEGEND:

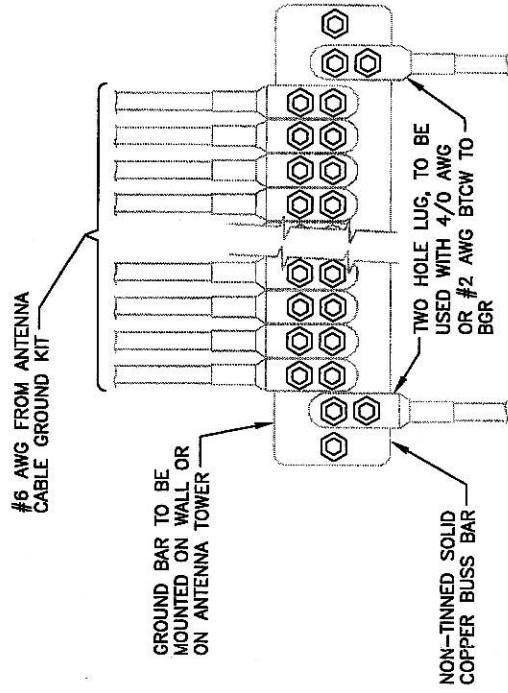
- ① TINNED COPPER GROUND BUSS BAR, 1/4" X 4" X 20", WITH NON-INSULATED MOUNTING KIT, OR EQUIVALENT.
- ② GROUND BAR SHALL BE SIZED TO ACCOMMODATE ALL GROUNDING CONNECTIONS REQUIRED PLUS PROVIDE 50% SPARE CAPACITY.
- ③ APPLY CONDUCTIVE LUBRICANT (NO-OX COMPOUND OR APPROVED EQUIVALENT) TO EXPOSED AREA OF GROUND BAR.

4 STANDARD GROUND BAR
NOT TO SCALE



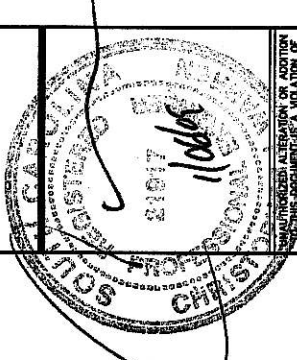
3 LUG DETAIL
NOT TO SCALE

- 1. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING BELLETTILES. COAT ALL SURFACES WITH ANTI OXIDATION COMPOUND BEFORE MATING.
- 2. ALL EXPOSED, EASILY ACCESSIBLE GROUND BARS SHALL BE TAGGED "DO NOT DISCONNECT"
- 3. COAT ALL BARRELS WITH ANTI-OXIDATION COMPOUND BEFORE CRIMPING.



5 INSTALLATION OF GROUND WIRE TO GROUND BAR
NOT TO SCALE

NOTE:
CONTRACTOR TO UTILIZE KOPR-SHIELD (THOMAS & BETTS)
OR EQUIVALENT ON ALL LUG CONNECTIONS

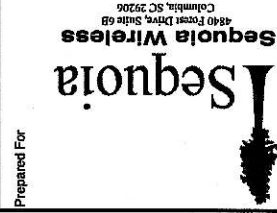


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1	ISSUED FOR CONSTRUCTION PER 01/26/08		
2	ISSUED FOR CONSTRUCTION PER 01/26/08		
3	ISSUED FOR REVIEW PER 01/26/08		
4	ISSUED FOR REVIEW PER 01/26/08		
5	ISSUED FOR REVIEW PER 01/26/08		

Drawn: Date: 12/29/08
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 Project Number: 228-001
 Project Title:

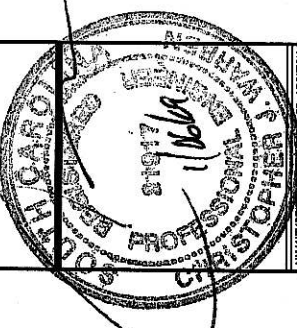
FARMING CREEK
SC - 200
FARMING CREEK ROAD
IRMO, SC 29063



Prepared For:
 Drawing Scale: AS NOTED
 Date: 12/29/08

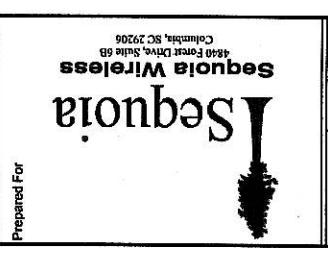
Drawing Title: GROUNDING DETAILS

Drawing Number: G02



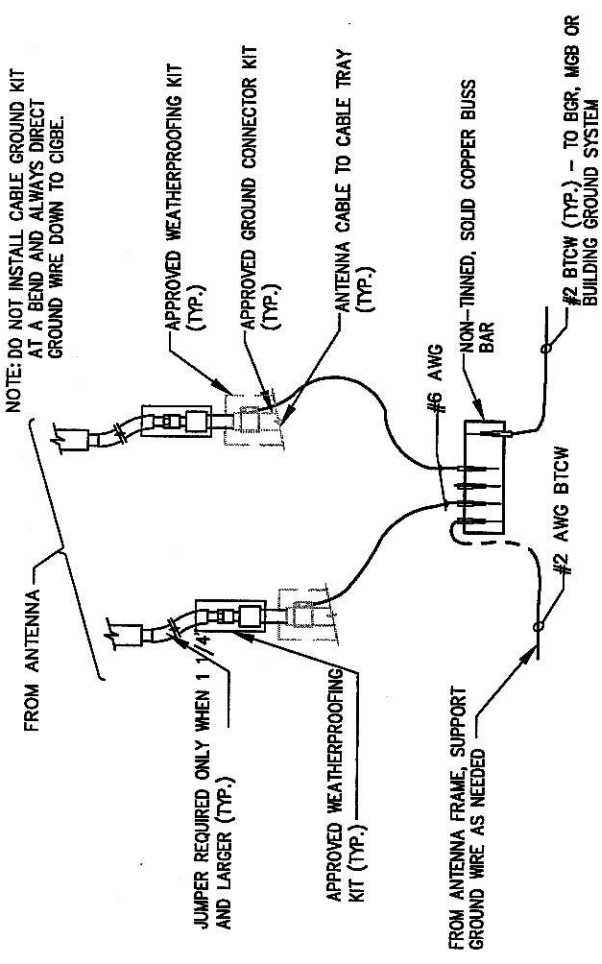
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3	ISSUED FOR CONSTRUCTION PHS 01/29/08
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0	ISSUED FOR REVIEW PHS 12/29/08
No.	Submittal/Revision (Appr) Date
Drawn: PHS	Date: 12/29/08
Designed: PHS	Date: 12/29/08
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Project Number: 228-001
 Project Title: FARMING CREEK SC - 200
 FARMING CREEK ROAD
 IRMO, SC 29063

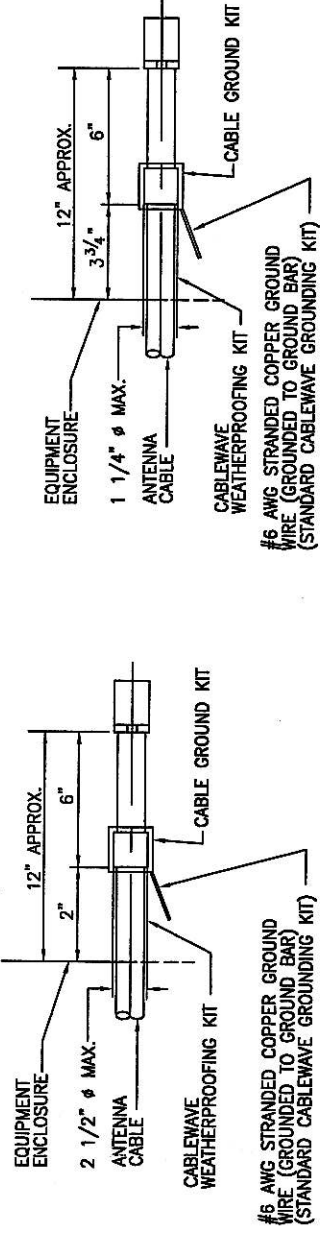


Prepared For: AS NOTED
 Date: 12/29/08
 Drawing Title: GROUNDING DETAILS

GROUNDING DETAILS
 Drawing Number: G03

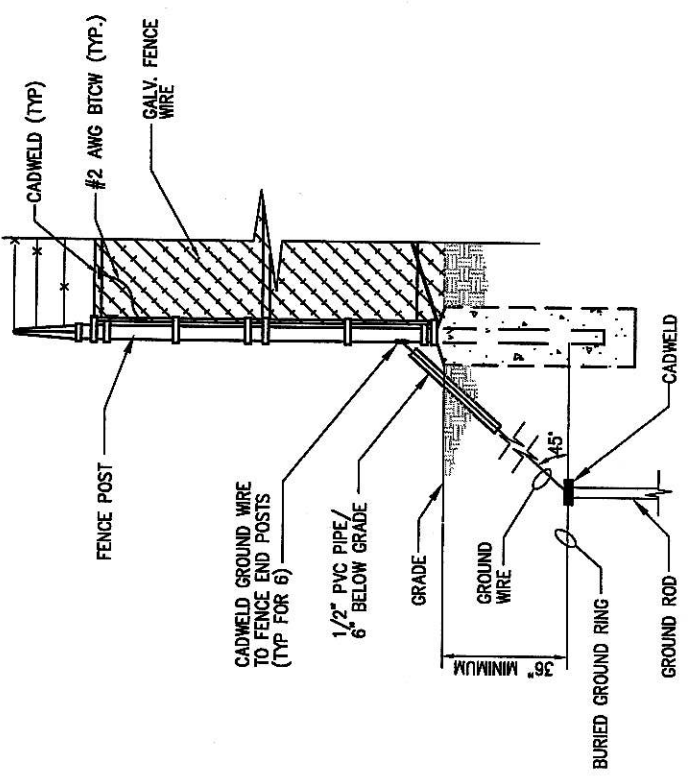


1 CONNECTION OF GROUND WIRES TO SECTOR CIGBE @ ANTENNAS



NOTE:
 DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.

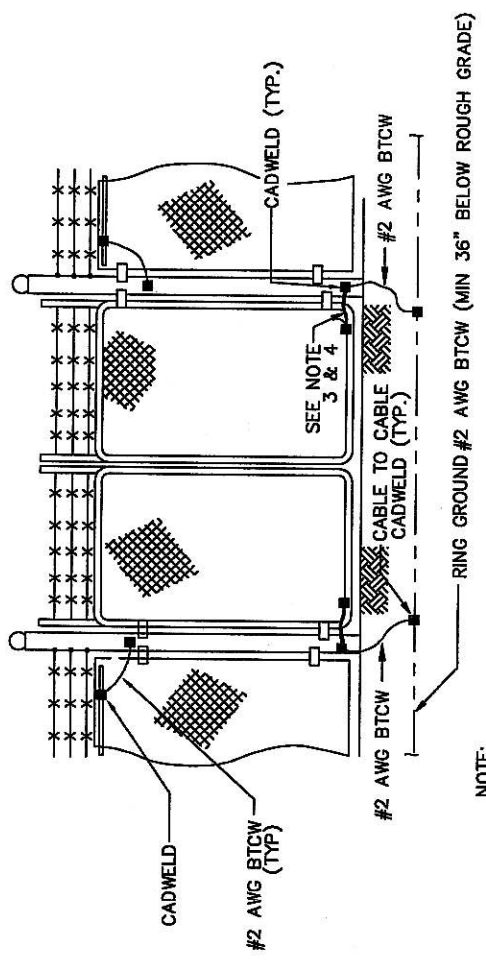
2 CABLE GROUND KIT CONNECTION



NOTES

1. THE #2 AWG BTCW, FROM THE GROUND RING SHALL BE CADWELDED TO THE POST ABOVE GRADE.
2. BOND EACH HORIZONTAL POLE/BRAVE TO EACH OTHER AND TO EACH VERTICAL POLE BONDED TO THE EXTERIOR GROUND RING.

3 FENCE GROUNDING



NOTE:

1. THE #2 AWG, BTCW, FROM THE RING GROUND SHALL BE CADWELDED TO THE POST ABOVE GRADE.
2. BOND EACH HORIZONTAL POLE/BRAVE TO EACH OTHER AND TO EACH VERTICAL POLE BONDED TO THE EXTERIOR GROUND RING
3. GATE JUMPER SHALL BE #4/0 AWG WELDING CABLE OR FLEXIBLE COPPER BRAID BURNDY TYPE B WITH SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING.
4. GATE JUMPER SHALL BE INSTALLED SO THAT IT WILL NOT BE SUBJECTED TO DAMAGING STRAIN WHEN GATE IS FULLY OPEN IN EITHER DIRECTION.

4 FENCE GATE GROUNDING





4 February 2009
Board of Zoning Appeals

REQUEST, ANALYSIS AND RECOMMENDATION

09-05 Special Exception

REQUEST

The applicant is requesting the Board of Zoning Appeals to grant a special exception to permit the construction of a communication tower in a RU (Rural) district.

GENERAL INFORMATION

Applicant

Jonathan Yates (Optima Towers)

Tax Map Number

19203-14-11

Location

Leesburg Road

Parcel Size

.45± -acre tract

Existing Land Use

undeveloped

Existing Status of the Property

The subject parcel is vacant.

Proposed Status of the Property

The applicant proposes to erect a 150-foot telecommunications tower, within a 4,900 (70 x 70) square foot leased area.

Character of the Area

The abutting adjacent properties along Leesburg Road are primarily commercial developed. The residential neighborhood is located north of the subject parcel.

ZONING ORDINANCE CITATION

Table 20-V-2 of the Land Development Code authorizes the Board of Zoning Appeals to authorize radio, television and all other types of communications towers subject to the provisions of section 26-152 (d) (24).

CRITERIA FOR SPECIAL EXCEPTIONS

In addition to definitive standards in this chapter, the Board shall consider the following:

1. Traffic impact.
2. Vehicle and pedestrian safety.
3. Potential impact of noise, lights, fumes or obstruction of airflow on adjoining property.
4. Adverse impact of the proposed use on the aesthetic character of the environs, to include possible need for screening from view.
5. Orientation and spacing of improvements or buildings.

Special exception requirements (as found in section 26-152 (d) (24)):

(24) Radio, television and telecommunications and other transmitting towers.

- a. Use districts: Rural; Office and Institutional; Neighborhood Commercial; Rural Commercial; General Commercial; LI Light Industrial; Heavy Industrial.
- b. Communication towers shall have a maximum height of three hundred (300) feet. For towers on buildings, the maximum height shall be twenty (20) feet above the roofline of buildings forty (40) feet or four stories in height or less. For buildings greater than four stories or forty-one (41) feet in height, the maximum height of communication towers shall be forty feet above the roofline.
- c. The minimum setbacks for communication towers from certain uses shall be as follows:
 1. In no case shall a communication tower be located within fifty (50) feet of a residential zoning district or an inhabited residential dwelling.
 2. For towers in excess of fifty (50) feet, the setback shall increase one (1) foot for each foot of height of the tower as measured from the base of the tower. The maximum required separation being two hundred and fifty (250) feet.
- d. The proposed user must show proof of an attempt to collocate on existing communication towers, and must be willing to allow other users to collocate on the proposed tower in the future subject to engineering capabilities of the structure. Evidence of an attempt to collocate must show that alternative towers, buildings, or other structures are not available for use within the applicant's tower site search area that are structurally capable of supporting the intended antenna or meeting the applicant's necessary height criteria, or provide a location free of interference from other communication towers.
- e. Towers shall be illuminated as required by the Federal Communications Commission, Federal Aviation Administration, or other regulatory agencies. However, no nighttime strobe lighting shall be incorporated unless required by the Federal Communications Commission, the Federal Aviation Administration, or other regulatory agency.
- f. Each communication tower and associated buildings shall be enclosed within a fence at least seven (7) feet in height.
- g. Each communication tower site shall be landscaped in accordance with the requirements of Sec. 26-176 of this chapter.
- h. No signage may be attached to any portion of a communications tower. Signs for the purpose of identification, warning, emergency function or contact or other as required by applicable state or federal rule, law, or regulation may be placed as required by standard industry practice.
- i. A communications tower which is no longer used for communications purposes must be dismantled and removed within one hundred twenty (120) days of the date the tower is taken out of service.

DISCUSSION

The applicant proposes to erect a 150-foot telecommunications tower, within a 4900 square foot leased compound.

Staff visited the site.

The tower is proposed to be located 135'-11" feet from Leesburg Road and approximately 56 feet from the rear property line.

Meeting the criteria for a special exception in section 26-152 (d) (24) (c) may indicate that the applicant has taken necessary measures to minimize the impact of a communication tower on the surrounding area. According to the applicant, the tower will be 157 feet from the nearest existing residential structure. Staff believes that this request will not impair the properties in the immediate or surrounding area.

The applicant must address, before the Board, the special exception requirements of section 26-152 (d) (24) (d).

CONDITIONS

Section 26-56 (f) (3)

(3) Conditions: In granting a special exception, the board of zoning appeals may prescribe conditions and safeguards in addition to those spelled out in this chapter. The board of zoning appeals may also prescribe a time limit within which the special exception shall be begun or completed, or both. All conditions placed on the project by the board of zoning appeals shall be incorporated into such project.

OTHER RELEVANT SECTIONS

N/A

ATTACHMENTS

- Site plan

CASE HISTORY

No record of previous special exception or variance request.

**CASE 09-06 SE
OPTIMA TOWERS
TMS 19203-14-11**





LOCATION MAP

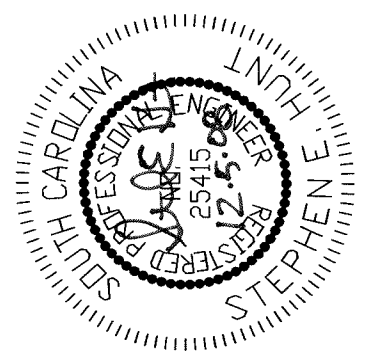
NTS

SITE DIRECTIONS

DIRECTIONS: FROM COLUMBIA TAKE I-77 N TO EXIT 9AB (LEESBURG ROAD). GO EAST ON LEESBURG ROAD FOR 1.3 MILES. SITE WILL BE ON THE LEFT AFTER PATRICIA DR.

TMS PARCEL ID# R19203-14-11
ZONING DISTRICT: GC
PROPERTY OWNERS ADDRESS:
2031 BULL STREET
COLUMBIA, SOUTH CAROLINA 29201

APPLICANT RESOURCE TEAM
 SITE ENGINEER: TELECAD WIRELESS SITE DESIGN
 SITE SURVEYOR: TBD
 LATITUDE: 33°58' 41.5"N
 LONGITUDE: 80°55' 52.34"W
 POWER CO: TBD
 TELCO CO: TBD
 PROPERTY OWNER: STOP 'N' SAVE INC - TEL.: TBD
 ZONING DEPT.: RICHLAND COUNTY
 BUILDING DEPT.: RICHLAND COUNTY
 LANDCOM REAL ESTATE L.L.C FIELD REP.: JOHN F. MAZUR, JR
 LANDCOM REAL ESTATE L.L.C PROPERTY SPECIALIST:
 KEITH POWELL - 843-324-9745
 APPLICANT REPRESENTATIVE:
 JONATHAN YATES, NEXSEN PRUETT - 843-813-0103



NOT VALID UNLESS SIGNED & DATED

OPTIMA TOWERS

OPTIMA TOWERS SITE NAME:
LEESBURG ROAD

OPTIMA TOWERS SITE ID:
SC-1019

SITE ADDRESS:
LEESBURG ROAD
COLUMBIA, SC 29209

PROJECT TYPE
150' MONOPOLE
TOWER

2C COORDINATES:
LATITUDE: 33°58' 41.5"N
LONGITUDE: 80°55' 52.34"W
ELEVATION: 312' (AMSL)



7001 MIDDLE VALLEY ROAD SUITE 113 - HIXSON, TN 37343
 (PHONE) 423-843-9500 - (FAX) 423-843-9509

NOTES:

THE CONTRACTOR(S), OR ANYONE USING THESE DOCUMENTS IS ADVISED TO LAYOUT THEIR WORK AND VERIFY THE ACTUAL FIELD CONDITIONS RELATIVE TO THE DESIGNS SHOWN ON THE DRAWINGS. ANY DISCREPANCIES ENCOUNTERED THAT WOULD EFFECT THE PROPER INSTALLATION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER IN ORDER TO ALLOW FOR NECESSARY ADJUSTMENTS IN THE PLANS.

THE CONTRACTOR SHALL LAYOUT IN THE FIELD ALL THE ELEMENTS OF THE IMPROVEMENTS, PRIOR TO AND WELL AHEAD OF CONSTRUCTION TO INSURE THAT NO CONFLICTS EXIST BETWEEN ANY UNDERGROUND SERVICE UTILITIES OR DRAIN LINES, INCLUDING THEIR MINIMUM DEPTHS BELOW FINISHED SURFACES. THE SURFACE ELEVATIONS OF ALL MANHOLES AND CATCH BASINS RELATIVE TO FINISHED GRADES. THE PLANNED DISCREPANCIES ENCOUNTERED SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER IN ORDER TO ALLOW FOR NECESSARY ADJUSTMENTS IN THE PLANS.

THE CONTRACTOR(S) SHALL MAINTAIN ACCURATE AND LEGIBLE REDLINED DRAWING RECORDS OF ALL INSTALLATIONS AND DELIVER THE SAME TO THE OWNER IN A FORM ADEQUATE TO READILY TRANSFER THE DATA DIRECTLY TO RECORD ("AS BUILT") DRAWINGS AS REQUIRED BY THE REVIEWING AGENCIES. THE FORM AND ADEQUACY OF THESE RECORDS ARE SUBJECT TO THE APPROVAL OF RECIPIENT.

INDEX OF ZONING DRAWINGS

- Z-0 COVER SHEET
- Z-1 OVERALL SITE LAYOUT PLAN
- Z-2 OVERALL SITE PLOT PLAN
- Z-3 SITE LAYOUT & TOWER ELEVATION
- Z-4 LANDSCAPING PLAN
- Z-5 LANDSCAPING CERTIFICATIONS
- Z-6 SITE DETAILS
- Z-7 FENCE DETAILS
- E1 UTILITY ROUTING PLAN
- E2 SITE GROUNDING PLAN
- E3 ELECTRICAL NOTES
- E4 ELECTRICAL DETAILS
- E5 ELECTRICAL DETAILS
- E6 UTILITY CENTER DETAILS
- E7 GROUNDING SINGLE LINE

ISSUE DATE: DECEMBER 5, 2008

SHEET TITLE:
COVER SHEET & RESOURCE TEAM

DRAWING NUMBER: **Z0**

NO.	DATE	ZONING ISSUE	ISSUE DESCRIPTION	DWS	CTD	BY	CHK
0	12-05-08						

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0	12/05/08	ZONING ISSUE	DWS	CTD
		RECORD OF ISSUE	BY	CHK

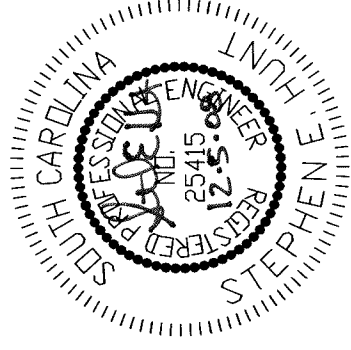
OPTIMA TOWERS

SITE#: SC1019
LEESBURG ROAD

**OVERALL SITE
LAYOUT PLAN**



WIRELESS SITE DESIGN, INC
7001 MIDDLE VALLEY ROAD, SUITE 113
HIXSON, TN 37343
PH: 423-843-9500 FAX: 423-843-9509



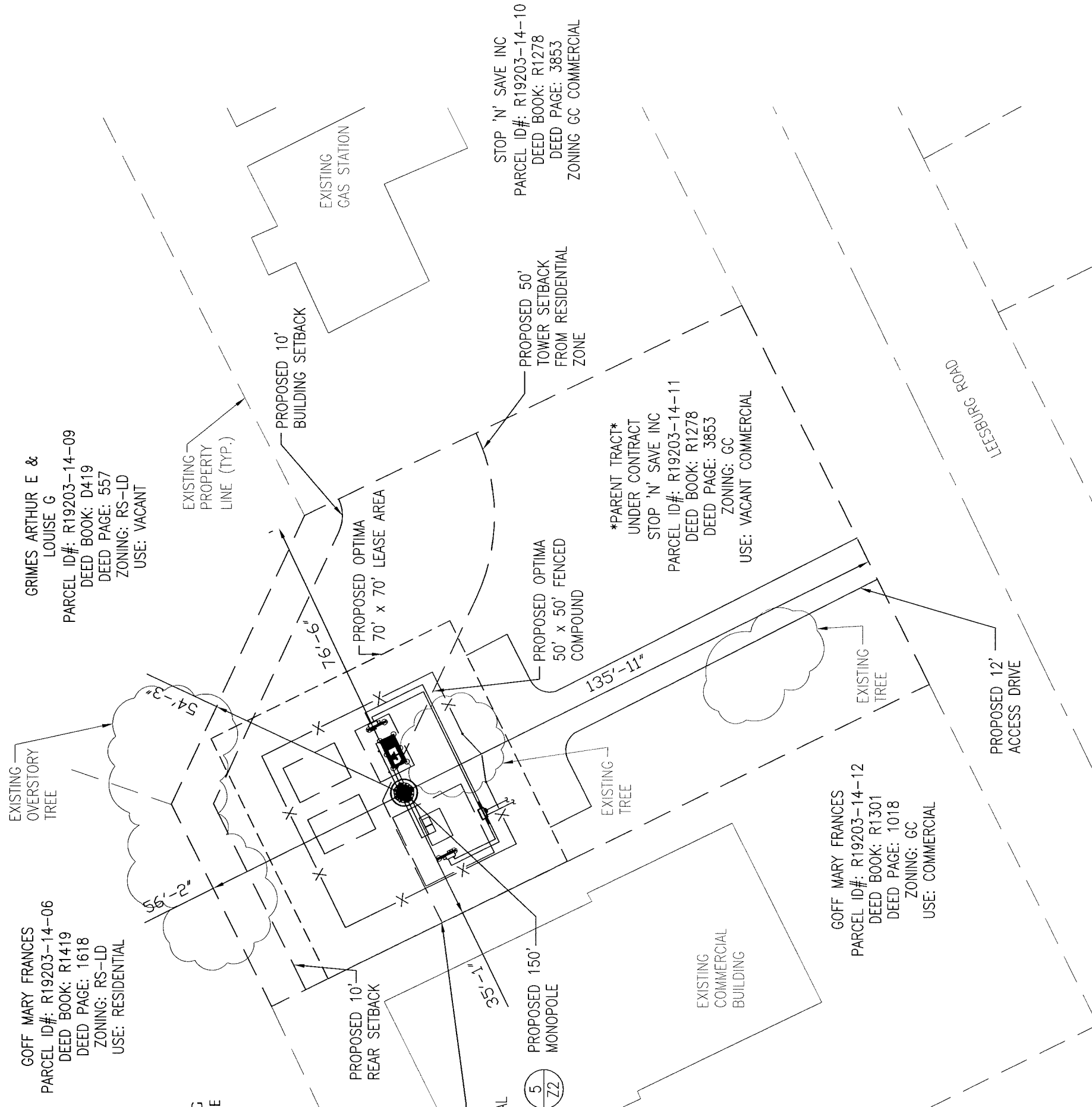
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DRAWN BY: DWS

CHECKED BY: CTD

PROJECT MGR: SEH

SHEET NUMBER: Z1



NOTES:

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR SITE LAYOUT AND CONSTRUCTION STAKING. LOCATION OF EXISTING STRUCTURES AND UTILITIES MUST BE CONFIRMED BY THE CONTRACTOR USING AN UNDERGROUND LOCATOR SERVICE.
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES OR ORDINANCES.

REFERENCE NOTES:

5 - TOWER ELEVATION. SEE DETAIL SHEET Z2.



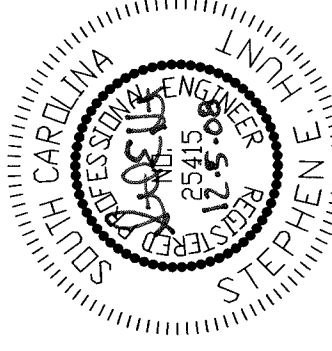
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OPTIMA TOWERS

SITE#: SC1019
LEESBURG ROAD

OVERALL SITE
PLOT PLAN

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HIXSON, TN 37343
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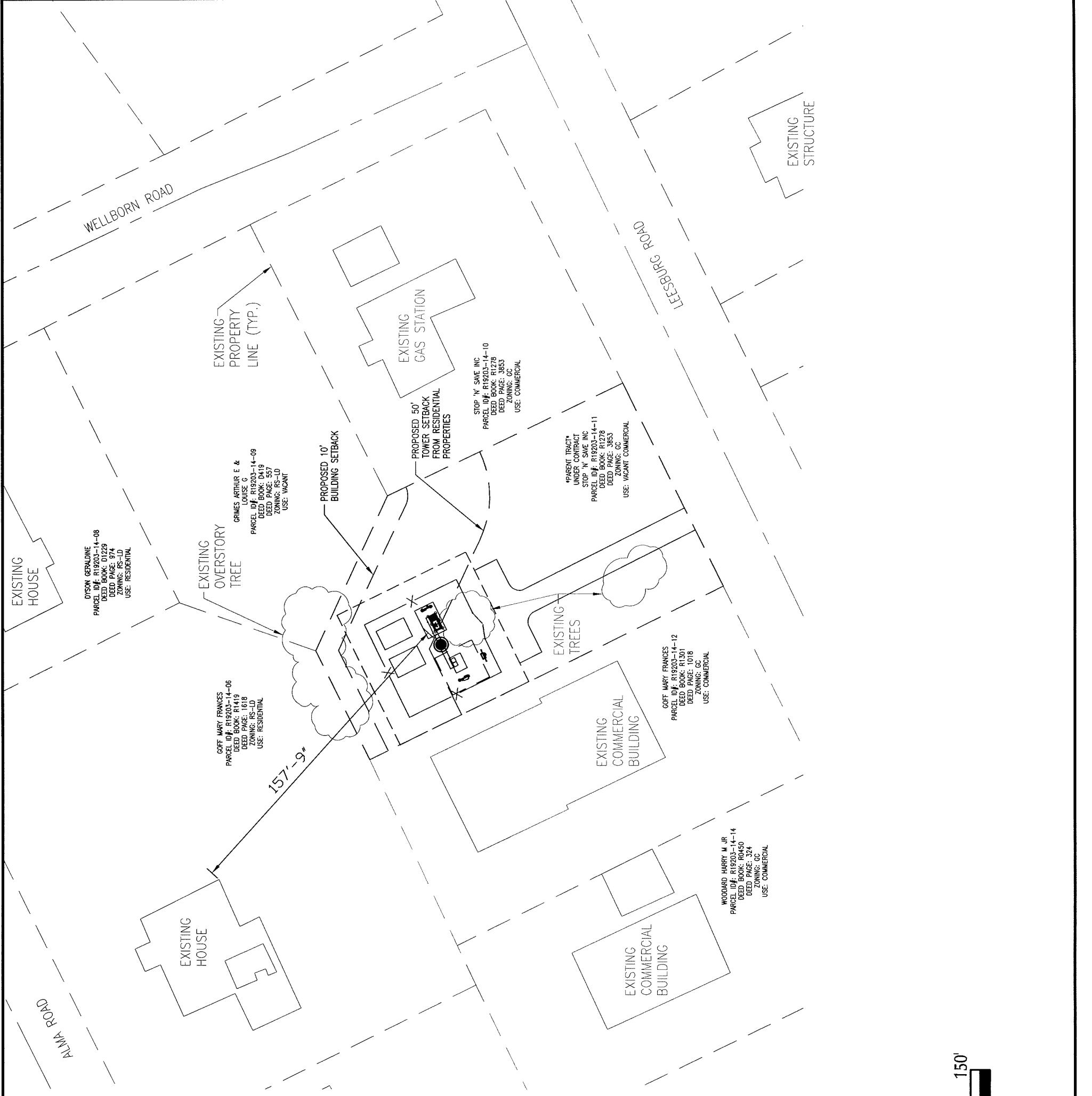
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PROJECT MGR: SEH

SHEET NUMBER: Z2



*PARCEL INFORMATION TAKEN FROM DORCHESTER COUNTY, SC GIS WEB SITE.

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OPTIMA TOWERS

SITE#: SC1019
LEESBURG ROAD

SITE LAYOUT &
TOWER ELEVATION

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PH: 423-843-9500 FAX: 423-843-9509

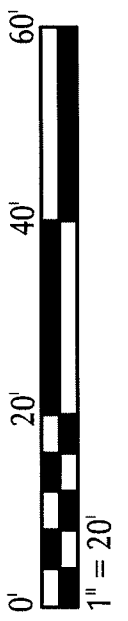
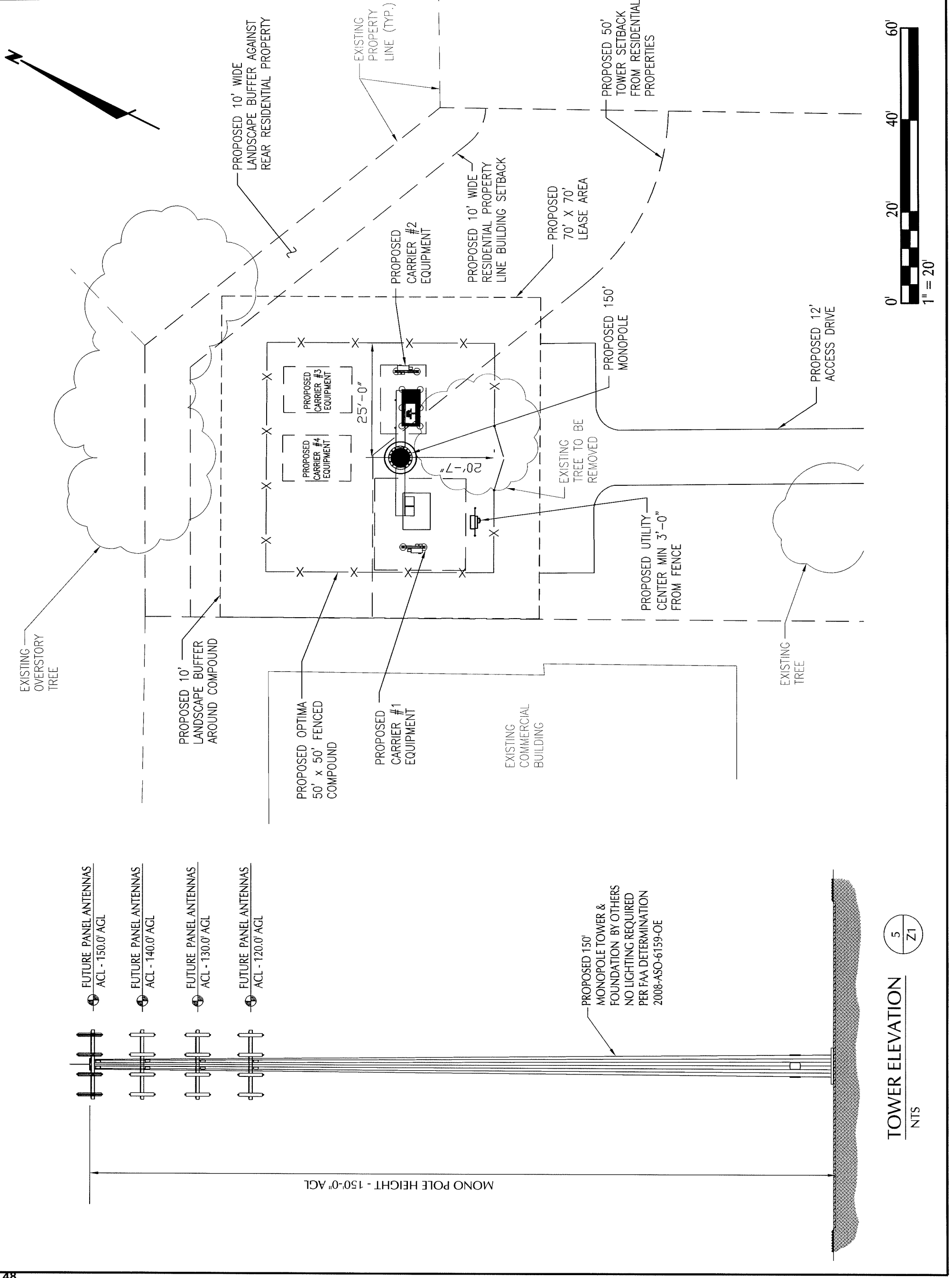
REGISTERED PROFESSIONAL ENGINEER
STEPHEN E. HUNT
NO. 25415
12.5.08
SOUTH CAROLINA
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DRAWN BY: DWS

CHECKED BY: CTD

PROJECT MGR: SEH

SHEET NUMBER: Z3



5
Z1

TOWER ELEVATION
NTS

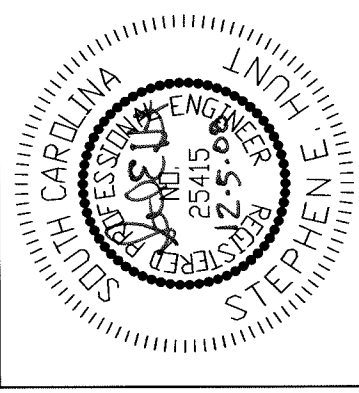
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OPTIMA TOWERS

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LEESBURG ROAD

LANDSCAPING PLAN

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7001 MIDDLE VALLEY ROAD, SUITE 1113
HIXSON, TN 37343
PH: 423-843-9500 FAX: 423-843-9509



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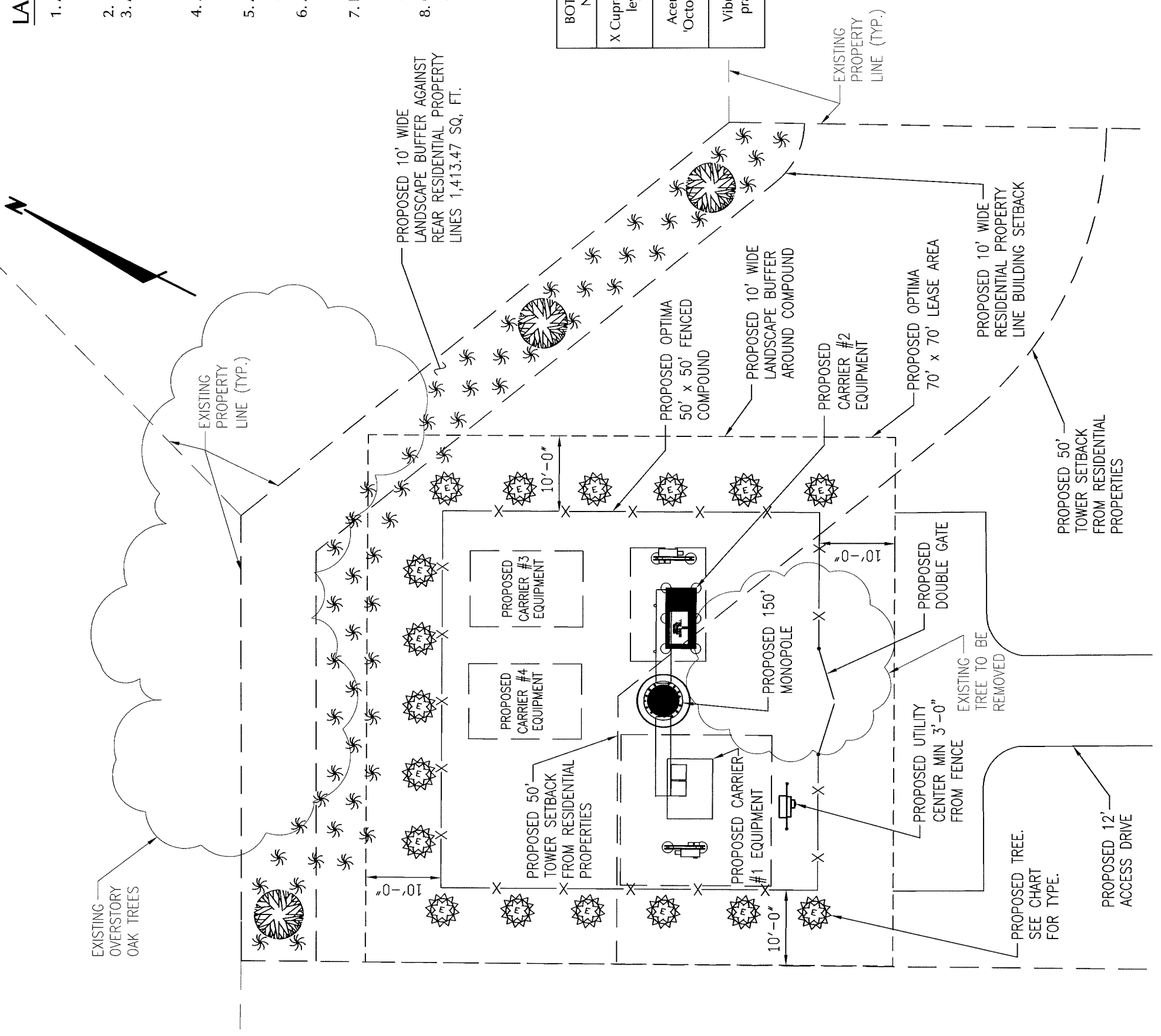
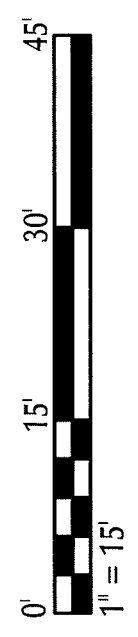
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CHECKED BY: CTD
PROJECT MGR: SEH
SHEET NUMBER: Z4

LANDSCAPE NOTES:

1. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH THE CURRENT EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK OF NURSERYMEN.
2. PLANTING PLAN TAKES PRECEDENCE OVER PLANT LIST.
3. ALL TREES SHALL BE STAKED OR GUYED AT TIME OF PLANTING UNLESS NO STAKES IS PRE-APPROVED BY OWNER. STAKES OR GUYS SHALL NOT RESTRICT MOVEMENT OF THE PLANT, BUT SHALL HAVE 2"-3" OF SLACK IN EACH GUY WIRE.
4. ALL PLANT MATERIAL IS SUBJECT TO THE OWNERS APPROVAL PRIOR TO INSTALLATION TO INSURE THE CONFORMITY TO THE SPECIFICATIONS.
5. APPLY GRANULAR PRE-EMERGENT HERBICIDE TO SOIL PER MANUFACTURERS RECOMMENDATIONS BELOW MULCH BED PRIOR TO MULCH APPLICATION.
6. APPLY "LESCO" (OR EQUAL) GRANULAR SLOW RELEASE FERTILIZER PER MANUFACTURERS RECOMMENDATIONS TO TREES AT TIME OF PLANTING.
7. PLACE 3"-4" MIN. THICKNESS OF SHREDDED BROWN HARDWOOD MULCH 10' WIDE AROUND FENCED AREA AS SHOWN ON PLAN. IF NECESSARY, INSTALL METAL OR PVC EDGING STRIPS TO PREVENT MULCH FROM WASHING ON TO ROAD OR OTHERWISE CAUSING PROBLEMS.
8. CONTRACTOR SHALL WARRANTY PLANTS FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE.

PLANT MATERIAL LIST

BOTANICAL NAME	COMMON NAME	SIZE	SYMBOL	QTY
X Cupressocyparis leylandii	Leyland Cypress	6'-0" MIN. AT PLANTING ON 10'-0" CENTERS, TYP.		17
Acer rubrum 'October Glory'	October Glory Maple	8'-0" MIN. AT PLANTING ON 40'-0" CENTERS, TYP.		3
Viburnum x pragnense	Prague Viburnum	2'-0" MIN. AT PLANTING EQUAL SPACED		57

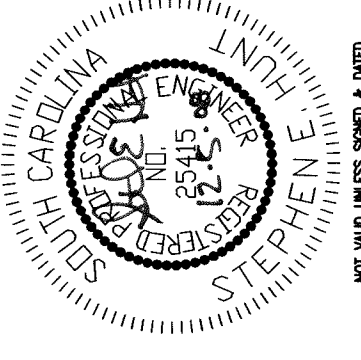


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OPTIMA TOWERS

SITE#: SC1019
LEESBURG ROAD

LANDSCAPING
CERTIFICATIONS



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DRAWN BY: DWS

CHECKED BY: CTD

PROJECT MGR: SEH

SHEET NUMBER: Z5

CONTROLLED CLEARING CERTIFICATION
(TO BE AFFIXED TO SITE PLANS/SUBDIVISIONS/LANDSCAPE PLANS)

IN ACCORDANCE WITH SEC. 26-176.(1) a. OF THE RICHLAND COUNTY LAND DEVELOPMENT CODE, I HEREBY CERTIFY THAT ALL HARDWOOD TREES IN FAIR OR BETTER CONDITION, TWENTY-NINE (29) INCHES OR GREATER IN DIAMETER WILL BE PRESERVED.; AND

IN ACCORDANCE WITH SEC. 26-176.(1) b. OF THE RICHLAND COUNTY LAND DEVELOPMENT CODE, I HEREBY CERTIFY THAT ALL HARDWOODS TREES IN FAIR OR BETTER CONDITION, NINE (9) INCHES IN DIAMETER OR LARGER WILL BE PRESERVED IN ALL PROTECTED ZONES. PROTECTED ZONES (ARE PORTIONS OF THE PROPERTY REQUIRED BY PERMIT TO REMAIN IN NATURAL OPEN SPACE, BUFFER TRANSITION YARDS, STREET PROTECTIVE YARDS, OR AREAS REQUIRED BY PERMIT TO BE LANDSCAPED; AND

IN ACCORDANCE WITH SEC. 26-176.(1) c. OF THE RICHLAND COUNTY LAND DEVELOPMENT CODE, I HEREBY CERTIFY THAT ALL PINE TREES IN FAIR OR BETTER CONDITION THAT ARE TEN (10) INCHES TO TWENTY (20) INCHES IN DIAMETER LOCATED IN A PROTECTED ZONE SHALL BE PRESERVED.

OWNER/APPLICANT'S SIGNATURE: _____

PRINT NAME: _____

DATE: _____

IN ACCORDANCE WITH SEC. 26-176.(1) a. OF THE RICHLAND COUNTY LAND DEVELOPMENT CODE, I HEREBY CERTIFY THAT ALL HARDWOOD TREES IN FAIR OR BETTER CONDITION, TWENTY-NINE (29) INCHES OR GREATER IN DIAMETER HAVE BEEN IDENTIFIED ON ALL "CONTROLLED CLEARING PLANS"; AND

IN ACCORDANCE WITH SEC. 26-176.(1) b. OF THE RICHLAND COUNTY LAND DEVELOPMENT CODE, I HEREBY CERTIFY THAT ALL HARDWOODS TREES IN FAIR OR BETTER CONDITION, NINE (9) INCHES IN DIAMETER OR LARGER HAVE BEEN IDENTIFIED IN ALL PROTECTED ZONES AND SHOWN ON ALL "CONTROLLED CLEARING PLANS". PROTECTED ZONES (ARE PORTIONS OF THE PROPERTY REQUIRED BY PERMIT TO REMAIN IN NATURAL OPEN SPACE, BUFFER TRANSITION YARDS, STREET PROTECTIVE YARDS, OR AREAS REQUIRED BY PERMIT TO BE LANDSCAPED; AND

IN ACCORDANCE WITH SEC. 26-176.(1) c. OF THE RICHLAND COUNTY LAND DEVELOPMENT CODE, I HEREBY CERTIFY THAT ALL PINE TREES IN FAIR OR BETTER CONDITION THAT ARE TEN (10) INCHES TO TWENTY (20) INCHES IN DIAMETER LOCATED IN PROTECTED ZONES HAVE BEEN IDENTIFIED AND SHOWN ON ALL "CONTROLLED CLEARING PLANS".

ENGINEER/SURVEYOR SIGNATURE: _____

PRINT NAME: _____

DATE: _____

LANDSCAPE CERTIFICATION

I HEREBY CERTIFY THAT THE PLANT MATERIALS AS SHOWN ON THIS PLAN ARE CAPABLE OF PROVIDING THE REQUIRED VISUAL OPACITY AND HEIGHT WITHIN THREE (3) YEARS OF THEIR INITIAL PLANTING.

LANDSCAPE AUTHORITY SIGNATURE _____ DATE _____

PRINT LANDSCAPE AUTHORITY SIGNATURE _____

DEVELOPER-OWNER CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN MEETS OR EXCEEDS THE REQUIREMENTS OF CHAPTER 26 SECTION 176 (K) "LANDSCAPING STANDARDS" OF THE RICHLAND COUNTY LAND DEVELOPMENT CODE AND THAT ALL PLANT MATERIAL SHALL BE DROUGHT-TOLERANT SPECIES, LIVING AND HEALTHY AT THE TIME OF INSTALLATION AND SHALL BE MAINTAINED IN A HEALTHY STATE OR PROMPTLY REPLACED [WITHIN NINETY (90) DAYS OF NOTIFICATION]] WITH HEALTHY PLANTS.

DEVELOPER-OWNER SIGNATURE _____ DATE _____

PRINT DEVELOPER-OWNER SIGNATURE _____

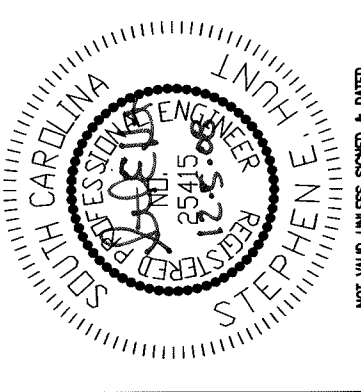
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OPTIMA TOWERS

SITE#: SC1019
LEESBURG ROAD

SITE
DETAILS

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7001 MIDDLE VALLEY ROAD, SUITE 113
HIXSON, TN 37343
PH: 423-843-9500 FAX: 423-843-9509



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CHECKED BY: CTD

PROJECT MGR: SEH

SHEET NUMBER: Z6

OPTIMA Towers

TBD
TBD

TBD, TBD XXXXXX

**FOR LEASING INFO,
PLEASE CONTACT:**

XXX-XXX-XXXX

optimatowerleasing@optimasc.net

(36')

OPTIMA Towers

FCC ASR # TBD

FAA # TBD

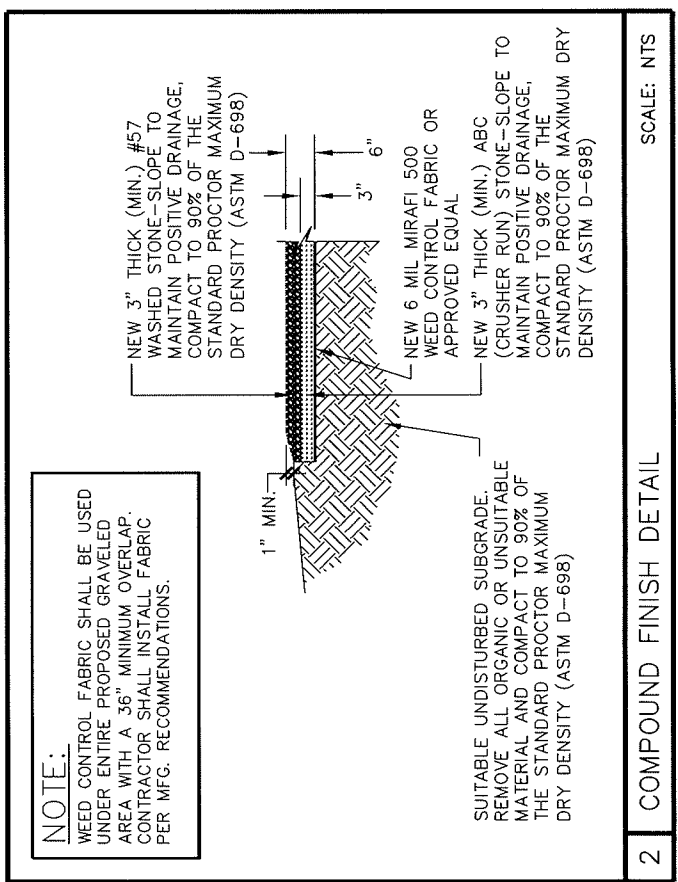
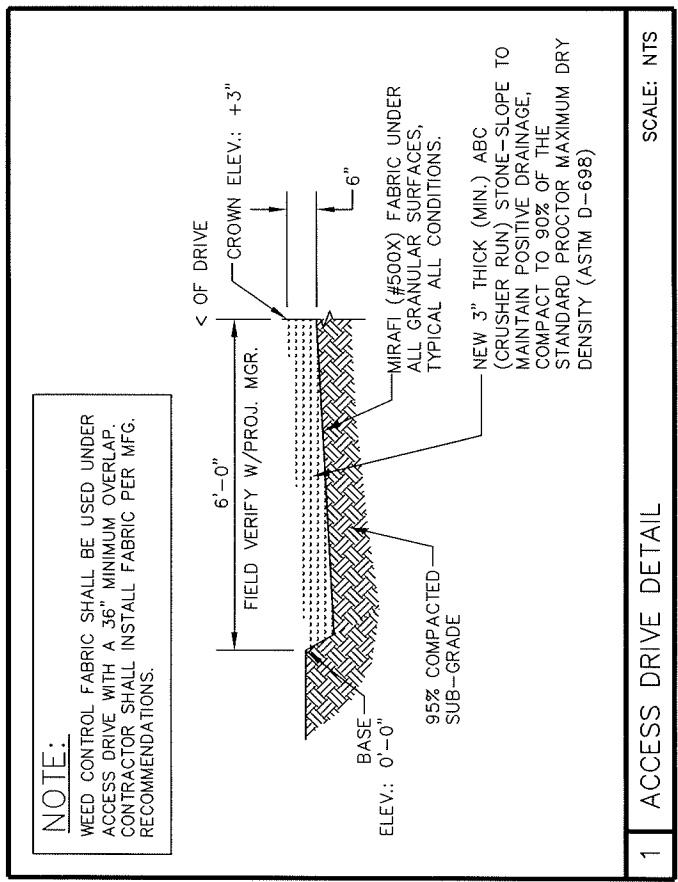
(12')

(1.5')

(1.5')

(18')

(24')



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NO.	DATE	RECORD OF ISSUE	BY	CHK

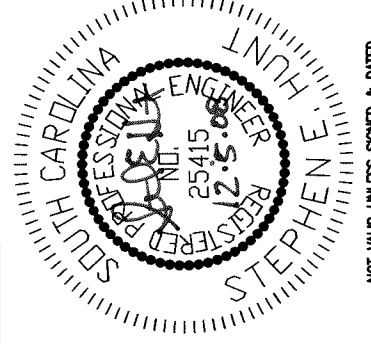
OPTIMA TOWERS

SITE#: SC1019
LEESBURG ROAD

FENCE
DETAILS

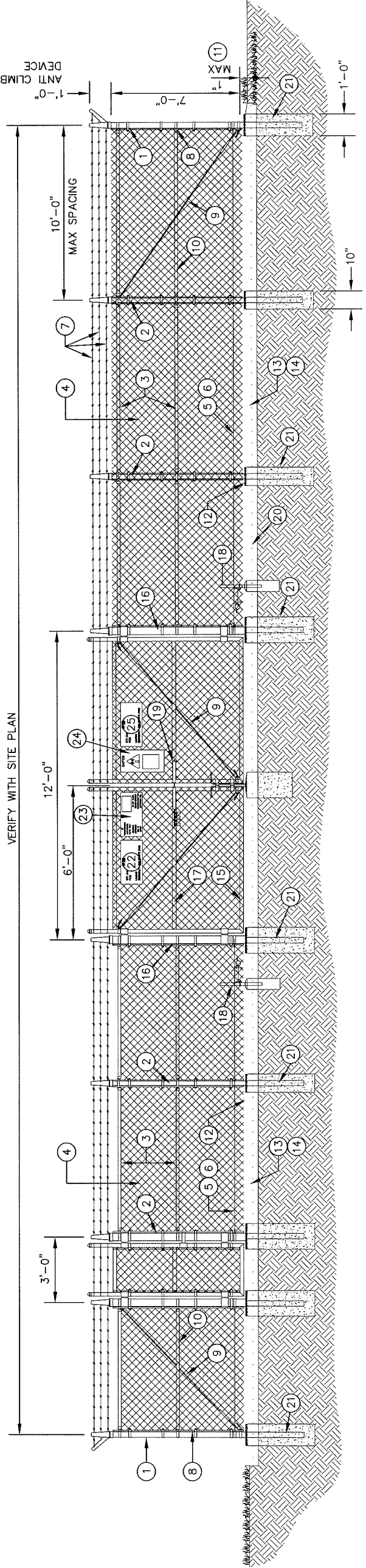


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DRAWN BY: DWS
CHECKED BY: CTD
PROJECT MGR: SEH
SHEET NUMBER: Z7



SCALE: N.T.S.

GENERAL NOTES:

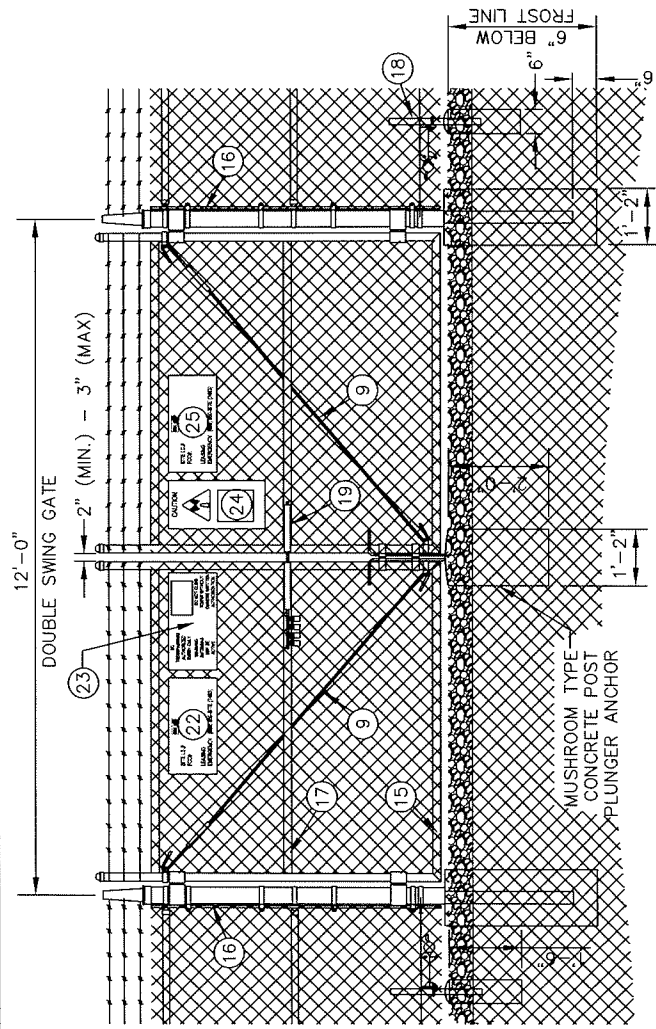
1. INSTALL FENCING PER ASTM F-567
2. INSTALL SWING GATES PER ASTM F- 900
3. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE GALVANIZED (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL).
5. ALL OPEN POSTS SHALL HAVE END-CAPS.
6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.
8. MUSHROOM ANCHOR & PLUNGER REQUIRED FOR GATE.

BALLOON REFERENCE NOTES:

- 1 CORNER, END OR PULL POST: 3" O.D. SCHEDULE 40 PIPE.
- 2 LINE POST: 2 1/2" NOMINAL SCHEDULE 40 PIPE, PER ASTM-F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10'-0" O.C.
- 3 TOP RAIL & BRACE RAIL: 1-5/8" O.D. STANDARD ROUND PIPE, PER ASTM-F1083.
- 4 FABRIC: 9 GA CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
- 5 TIE WIRE: 9 GA ALUMINUM. A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED 12" O.C. POSTS/GATES AND 24" RAILS/WIRE.
- 6 TENSION WIRE: 9 GA ALUMINUM
- 7 BARBED WIRE: DOUBLE STRAND 12-1/2" O.D. TWISTED WIRE TO MATCH WITH FABRIC. 14 GA, 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
- 8 3/16" X 3/4" (MIN) FULL HEIGHT STRETCHER BAR.
- 9 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- 10 FENCE CORNER POST BRACE: 1 5/8" NOMINAL PIPE.
- 11 1" MAXIMUM CLEARANCE FROM FINISH GRADE.
- 12 FENCE POST FOUNDATION TO BE 1" FINISH ABOVE FINISHED GRADE
- 13 6" COMPACTED BASE MATERIAL
- 14 FINISH GRADE SHALL BE UNIFORM AND LEVEL.
- 15 WELDED GATE FRAME: 2" O.D., SCHEDULE 40 PIPE, PER ASTM-F1083.
- 16 GATE POST 4" O.D., SCHEDULE 40 PIPE, PER ASTM-F1083.
- 17 GATE FRAME BRACE RAIL: 1 1/2" NOMINAL PIPE, PER ASTM-F1083.
- 18 DUCK BILL OPEN GATE HOLDER. VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION.
- 19 STYME LOCK MULTI-TENANT LOCKING DEVICE
- 20 GEOTEXTILE FABRIC
- 21 CONCRETE FOUNDATION (MIN 3000 PSI). MINIMUM DEPTH: 6" BELOW FROST LINE
- 22 24" x 36" OPTIMA SITE INFORMATION SIGN.
- 23 12" x 24" NO TRESPASSING SIGN.
- 24 12" x 24" RF CAUTION SIGN.
- 25 12" x 18" OPTIMA FCC AND ASR SIGN.

1 TYPICAL FENCING DETAIL

SCALE: N.T.S.



SCALE: N.T.S.

3 DOUBLE-SWING GATE DETAIL

2 NOT USED

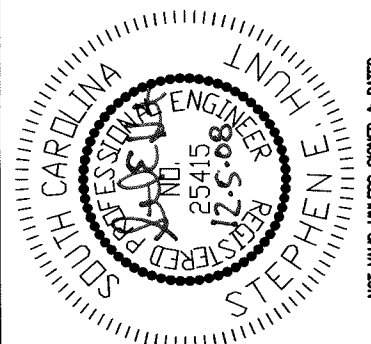
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OPTIMA TOWERS

SITE#: SC1019
LEESBURG ROAD

UTILITY ROUTING
PLAN

TeleCAD
WIRELESS SITE DESIGN, INC
7001 MIDDLE VALLEY ROAD, SUITE 113
HIXSON, TN 37343
PH: 423-843-9500 FAX: 423-843-9509



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CHECKED BY: CTD

PROJECT MGR: SEH

SHEET NUMBER: E1

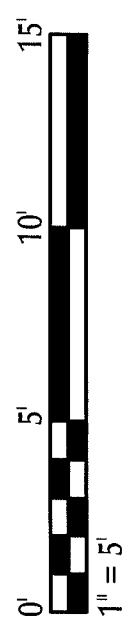
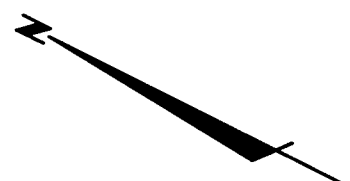
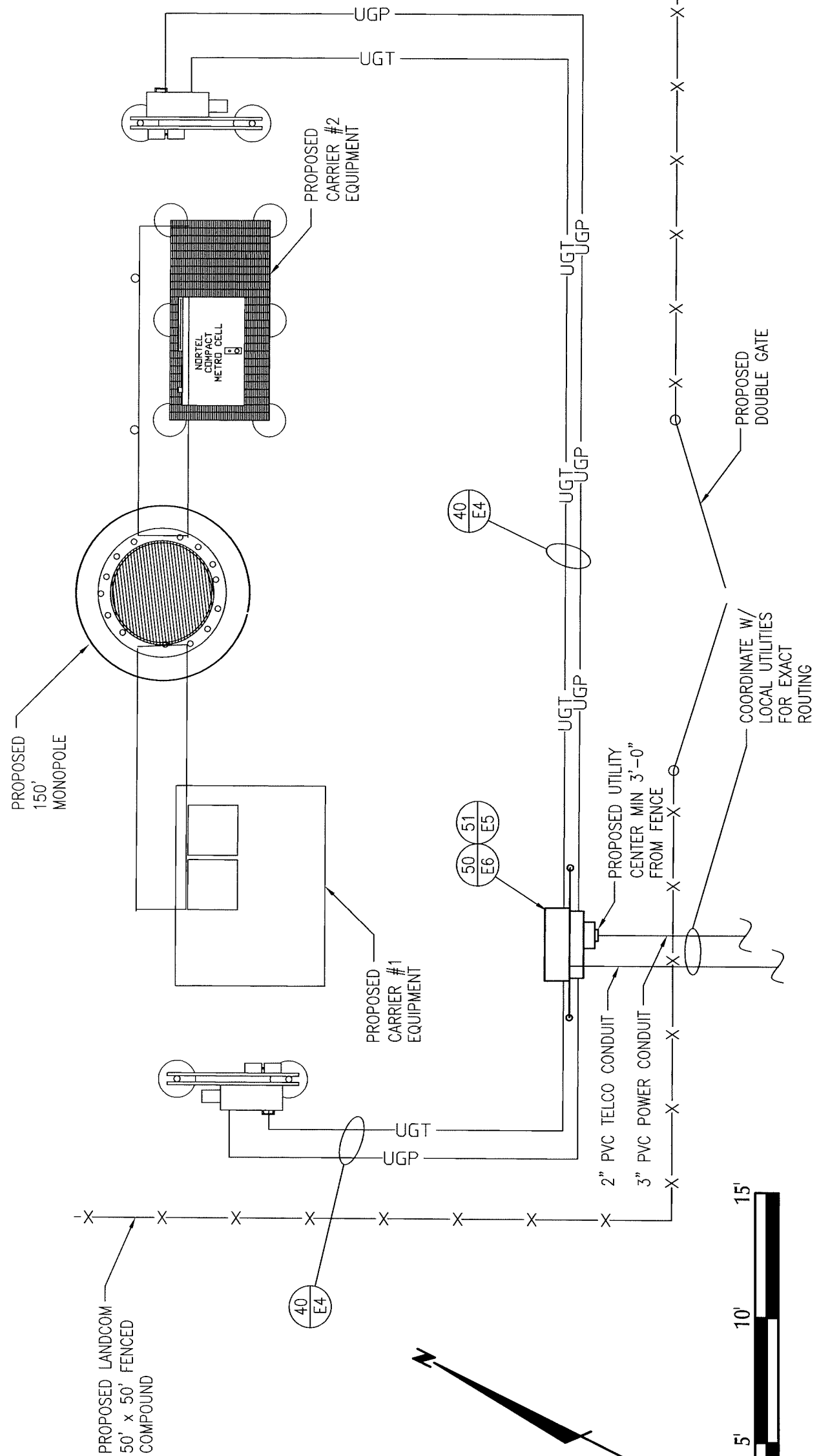
REFERENCE NOTES:

- 40 - CONDUIT TRENCH DETAIL. SEE DETAIL SHEET E4.
- 50 - UTILITY CENTER DETAIL. SEE DETAIL SHEET E6.
- 51 - ELECTRICAL SINGLE LINE DIAGRAM. SEE DETAIL SHEET E5.

ELECTRICAL LEGEND:

TELEPHONE PEDESTAL	
OVERHEAD TELEPHONE	— OHT —
UNDERGROUND TELEPHONE	— UGT —
OVERHEAD POWER	— OHP —
UNDERGROUND POWER	— UGP —

FOR ELECTRICAL NOTES, SEE SHEET E3.



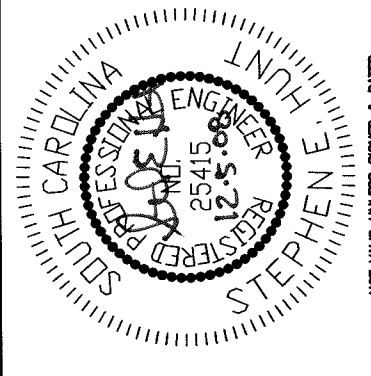
NO.	12/05/08	ZONING ISSUE	DWS
	DATE	RECORD OF ISSUE	BY CHK

OPTIMA TOWERS

SITE#: SC1019
LEESBURG ROAD

SITE GROUNDING
PLAN

TeleCAD
WIRELESS SITE DESIGN, INC
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HIXSON, TN 37343
PH: 423-843-9500 FAX: 423-843-9509



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PROJECT MGR: SEH
SHEET NUMBER: E2

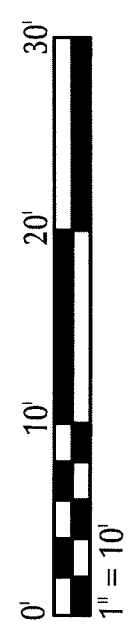
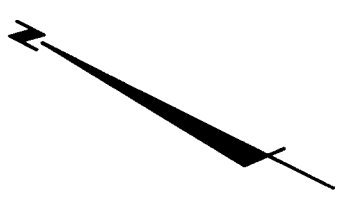
- REFERENCE NOTES:**
- 46 - EXOTHERMIC WELD TO TOWER BASE PLATE. SEE DETAIL SHEET E5.
 - 48 - INSPECTION SLEEVE DETAIL. SEE DETAIL SHEET E5.
 - 49 - GROUND ROD DETAIL. SEE DETAIL SHEET E5.
 - 52 - GROUNDING SYSTEM SINGLE LINE DIAGRAM. SEE DETAIL SHEET E7.

GROUNDING NOTE:

1. IF GROUND RESISTANCE CANNOT BE OBTAINED, A CHEMICAL GROUND ROD MAY BE ADDED TO THE GROUND COUNTERPOISE. CONSULT THE DESIGN ENGINEER PRIOR TO PLACEMENT.

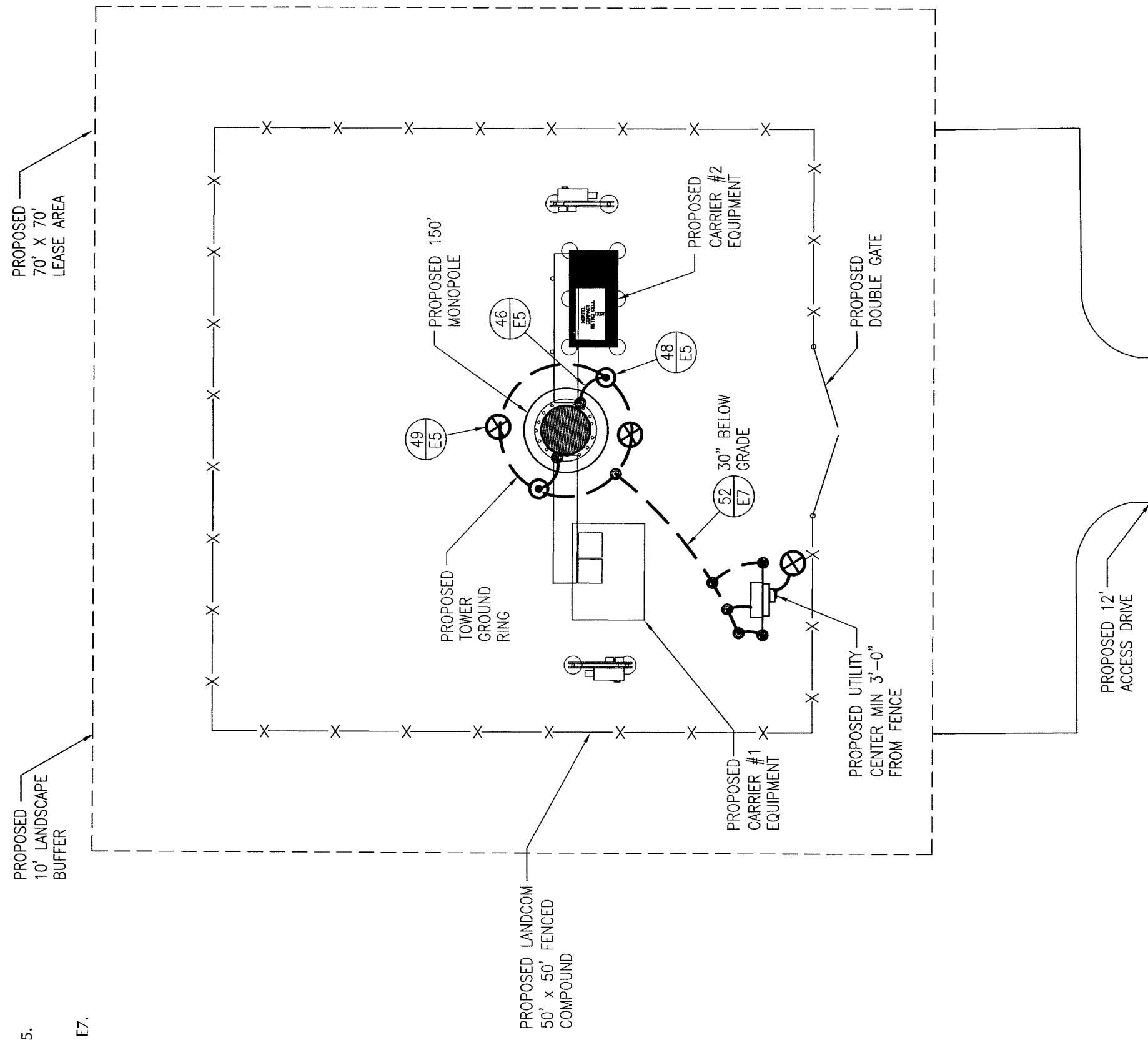
FOR GROUNDING NOTES, SEE SHEET E3.

ALL GROUND LEADS THAT EXTEND ABOVE GRADE ARE TO BE CADWELDED.



GROUNDING LEGEND:

	#2 AWG SOLID TINNED COPPER GROUND CABLE RUN 30" BELOW GRADE
	#2 AWG SOLID TINNED COPPER GROUND CABLE RUN ABOVE GRADE
	8' X 5/8" DIAMETER COPPER CLAD, STEEL GROUND ROD.
	PARALLEL CADWELD
	CADWELD WITH INSPECTION SLEEVE
	CHEMICAL GROUND ROD



ELECTRICAL NOTES:

1. APPLY FOR UTILITY SERVICE (TELEPHONE AND ELECTRIC) NO LATER THAN THE NEXT BUSINESS DAY FOLLOWING AWARD OF CONTRACT. COORDINATE WITH ELECTRIC UTILITY COMPANY FOR EXACT TRANSFORMER LOCATION, METERING REQUIREMENTS, AND SERVICE ROUTING. PROVIDE COPIES OF RECEIPTS VERIFYING APPLICATION FOR ELECTRICAL SERVICE AND CONFIRM FROM UTILITY AS TO WHEN SERVICE WILL BE AVAILABLE.
2. RUN 1-4" RGS TELCO CONDUIT TO THE NEW UTILITY POLE. COORDINATE WITH TELCO UTILITY FOR INSTALLATION REQUIREMENTS. INSTALL RACK FOR TELCO JUNCTION BOX/CELLPAK AFTER CONFIRMING THAT THIS IS ACCEPTABLE TO TELCO UTILITY.
3. IF CELLPAK IS REQUIRED, GENERAL CONTRACTOR TO PROVIDE RACK, CONDUITS, AND EQUIPMENT PER BELLSOUTH. 3/4" FLEX CONDUIT BETWEEN TELCO STUB-UP AND CELL-PAK. IF SITE IS "NEW CONSTRUCTION" AND TELCO IS BEING BROUGHT DIRECTLY INTO H-FRAME, GENERAL CONTRACTOR IS TO STUB TELCO CONDUIT (4") UP 6" OUTSIDE RIGHT LEG OF H-FRAME FOR BELLSOUTH PEDESTAL PLACEMENT.
4. AT THE NEW UTILITY POLE, TURN 2-3" POWER CONDUITS UP POLE WITH SCHEDULE 40 PVC AND EXTEND TO A WEATHERHEAD. VERIFY EXACT HEIGHT OF WEATHERHEAD WITH POWER COMPANY. STUB UP AND CAP SPARE 3" CONDUITS AT POLE.
5. ALL CONDUITS ENTERING THE UTILITY CENTER SHALL BE SEALED WITH SEALANTS THAT ARE IDENTIFIED FOR USE WITH THE CABLE INSULATION, SHIELD, OR OTHER COMPONENTS. A BEAD OF SILICONE SHALL BE PLACED AROUND ALL CONDUIT PENETRATIONS INTO THE UTILITY CENTER.
6. ALL ELECTRICAL AND GROUNDING AT THE SITE SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE, NFPA 70 AND STANDARD FOR THE INSTALLATION OF LIGHTING PROTECTION SYSTEMS (LATEST EDITION) NFPA 780.
7. PROVIDE 2 PULL STRINGS SECURELY FASTENED AT EACH END OF THE CONDUIT. PULL STRING TO BE 200LB TEST POLYETHENE CORD. PROVIDE CAP ON END OF THE CONDUITS WITH IDENTIFICATION OF ROUTING.
8. CONTRACTOR TO COORDINATE ALL NECESSARY STEPS INCLUDING BUT NOT LIMITED TO SCHEDULING OF INSPECTION, ETC... IN ORDER TO SECURE CONDITIONAL POWER. THIS PROCESS SHOULD BE INITIATED AT THE SAME TIME THE BUILDING PERMIT IS PULLED OR AT A TIME THAT BEST FACILITATES GETTING A METER PLACED ON SITE AND IN SERVICE.
9. GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THE COMPLETE COMPACTION AND RESTORATION OF ALL UTILITY TRENCHES TO THE SATISFACTION OF SKYLINK PROPERTIES AND PROPERTY OWNER, REGARDLESS OF THE PARTY PROVIDING INSTALLATION OF UTILITIES.
10. PROVIDE AND INSTALL WARNING TAPE FOR ELECTRIC SERVICE CONDUIT 12" BELOW GRADE. SEE CONDUIT SECTION ON SHEET E4.
11. ENCASE CONDUITS IN CONCRETE WHERE THEY CROSS ROADS.

GROUNDING NOTES:

1. TO PROTECT PERSONNEL FROM ELECTRICAL SHOCK AND ENSURE SAFE, RELIABLE OPERATION OF EQUIPMENT, THE GROUNDING SYSTEM SHALL PROVIDE A LOW IMPEDANCE PATH TO EARTH FOR LIGHTNING AND FAULT CURRENT SURGES. THE GROUNDING RESISTANCE IS REQUIRED TO BE 5 OHMS OR LESS.
2. INSTALL GROUND RING 2 FEET MAX OUTSIDE OF FUTURE EQUIPMENT PAD FOUNDATION AND 30 INCHES BELOW GRADE. GROUND RING CONSISTS OF #2 AWG SOLID BARE TINNED COPPER. SKYLINK PROPERTIES REPRESENTATIVE TO INSPECT GROUNDING BEFORE BACKFILLING OR GENERAL CONTRACTOR WILL TAKE DIGITAL PHOTOS PRIOR TO BACKFILLING.
3. CADWELD ALL CONNECTIONS TO BURIED GROUND RING WITH PARALLEL WELDS. EXCEPTION: USE TEE WELDS FOR CONNECTIONS TO GROUND RODS.
4. GROUND ALL EXTERIOR EXPOSED METAL OBJECTS. USE TWO HOLE MECHANICAL CONNECTORS (T & B 32007) FOR CONNECTION TO FLAT METAL SURFACES. PROVIDE STAINLESS STEEL HARDWARE AND LOCKWASHERS ON ALL MECHANICAL CONNECTIONS. APPLY ANTI-OXIDE COMPOUND TO CONNECTIONS.
5. ALL ATTACHMENTS TO GROUND LOOP AND SUPPLEMENTAL GROUND CABLE ARE TO BE 90° BEND RADIUS IN 8" AND BE IN A COUNTERCLOCKWISE DIRECTION WITH PARALLEL CADWELDS. MAKE ALL GROUNDING CONNECTIONS AS SHORT AS POSSIBLE.
6. CLEAN ALL SURFACES AND BRUSH WITH BRONZE BRUSH PRIOR TO MAKING GROUND CONNECTIONS. PAINT ALL EXOTHERMIC WELDS TO GALVANIZED OBJECTS WITH GALVANIZED PAINT.
7. INSTALL 5/8" x 10" COPPER CLAD GROUND RODS IN LOCATIONS SHOWN ON GROUNDING PLAN.
8. THE TOP OF THE UTILITY METER GROUND ROD IS TO BE 6" ABOVE THE SUB-GRADE, FOR INSPECTION BY LOCAL AUTHORITY. THE GROUND ROD IS NOT TO BE TIED INTO THE COUNTERPOISE.
9. PROVIDE GROUNDING FOR ALL OWNER FURNISHED EQUIPMENT PER THE EQUIPMENT MANUFACTURER'S INSTRUCTIONS AND BOND TO THE EQUIPMENT GROUND RING.
10. IF INSTALLING CHEMICAL GROUND RODS, GENERAL CONTRACTOR SHALL REMOVE AND PRESENT TO CONSTRUCTION MANAGER THE TAPE USED TO SEAL THE TOP AND BOTTOM OF CHEMICAL GROUND ROD.

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		RECORD OF ISSUE	BY	CHK

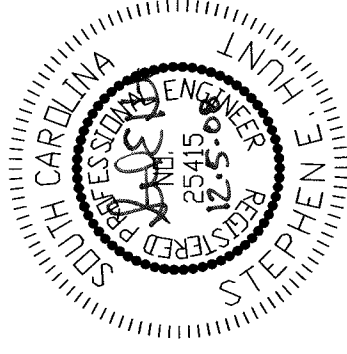
OPTIMA TOWERS

SITE#: SC1019
LEESBURG ROAD

**ELECTRICAL
NOTES**

TeleCAD
WIRELESS SITE DESIGN, INC

7001 MIDDLE VALLEY ROAD, SUITE 113
HIKSON, TN 37343
PH: 423-843-9500 FAX: 423-843-9509



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PROJECT MGR: SEH

SHEET NUMBER: E3

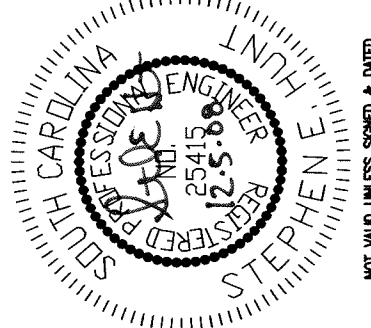
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NO.	DATE	RECORD OF ISSUE	BY	CHK

OPTIMA TOWERS

SITE #: SC1019
LEESBURG ROAD

ELECTRICAL
DETAILS

TeleCAD
WIRELESS SITE DESIGN, INC
7001 MIDDLE VALLEY ROAD, SUITE 113
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PH: 423-843-9500 FAX: 423-843-9509



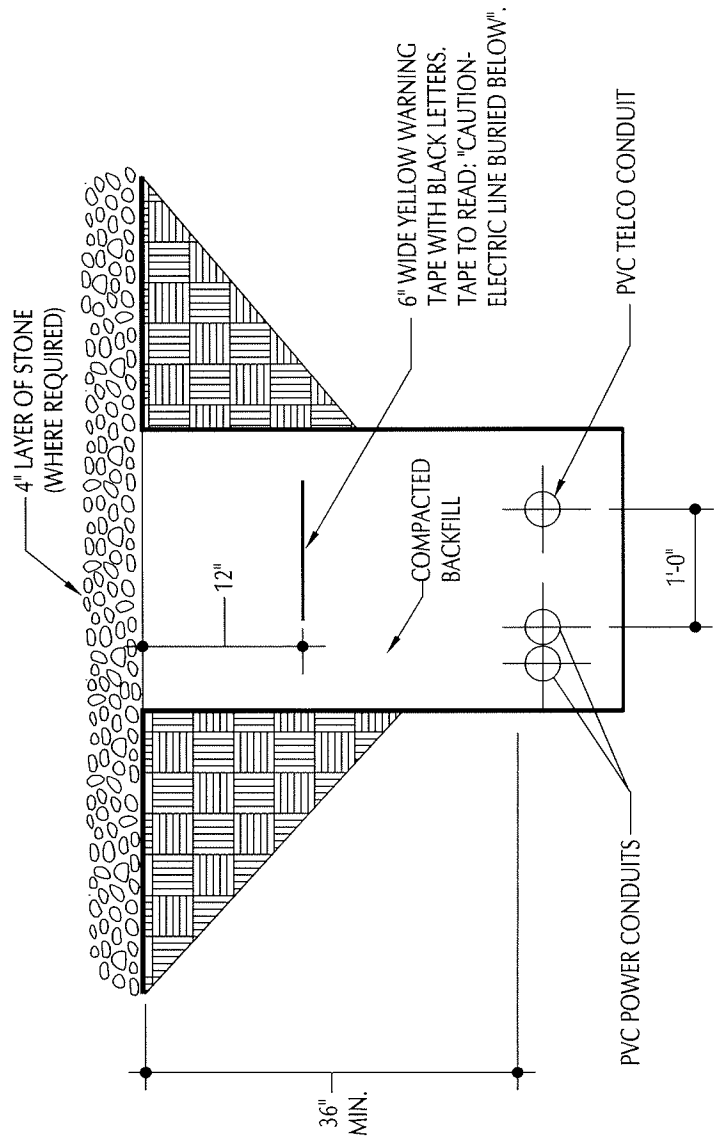
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CHECKED BY: CTD

PROJECT MGR: SEH

SHEET NUMBER: E4



NOTE: TYPICAL SPACING FOR ALL UNDERGROUND CONDUITS



CONDUIT TRENCH DETAIL

NTS

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0	12/05/06	ZONING ISSUE		

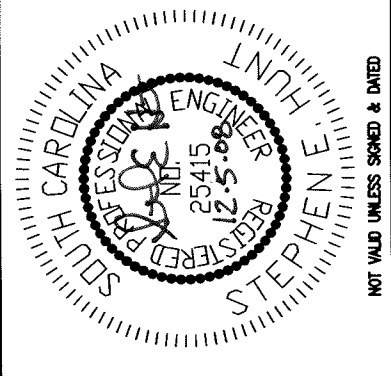
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SITE#: SC1019
LEESBURG ROAD

ELECTRICAL DETAILS



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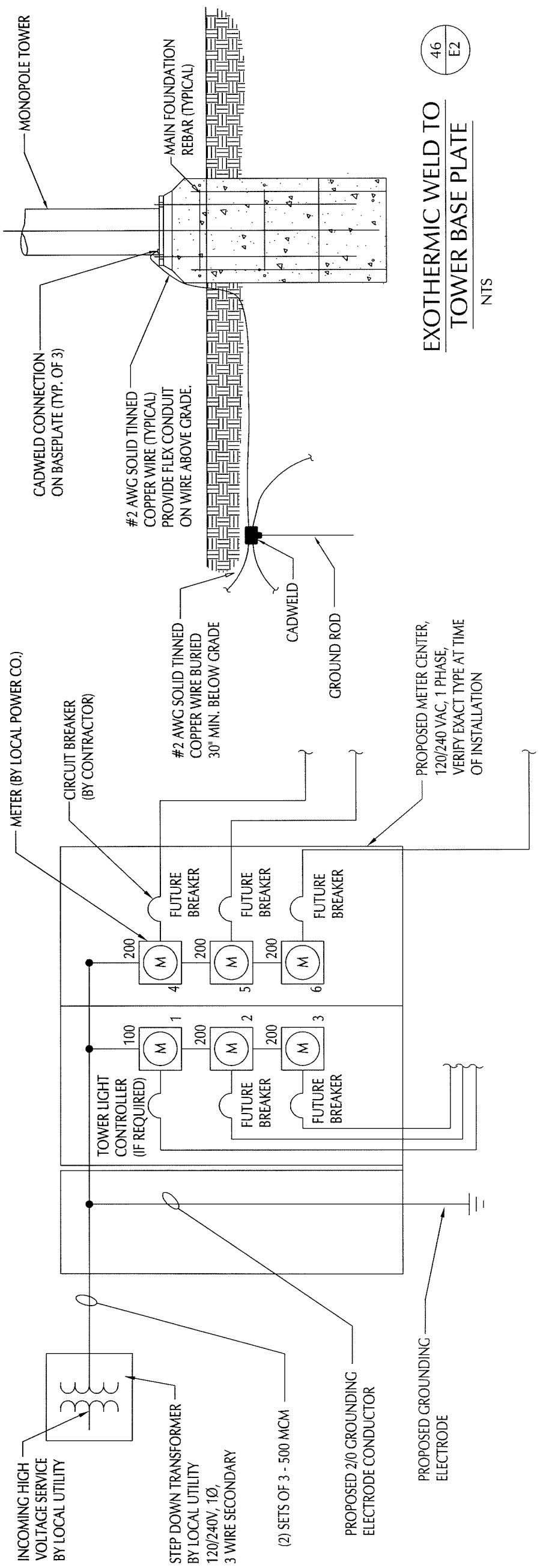
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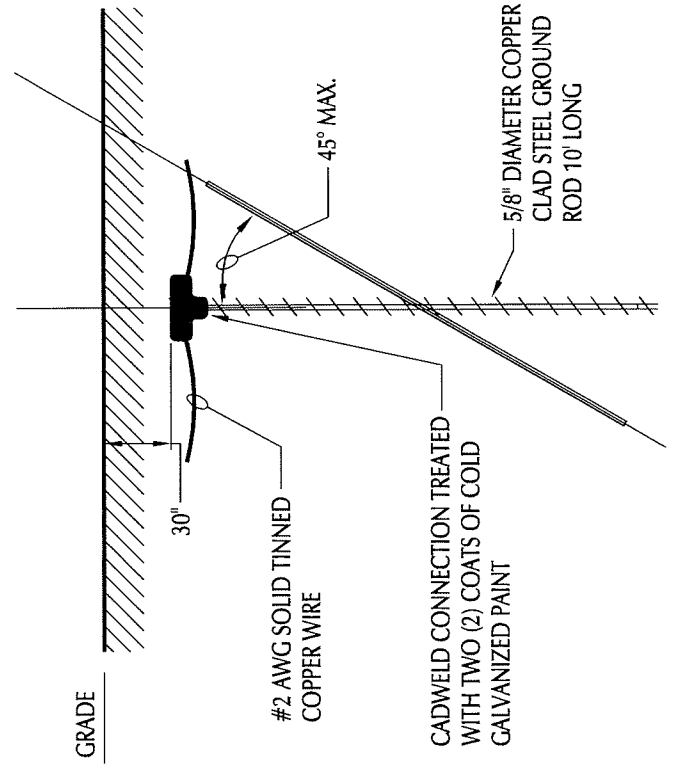
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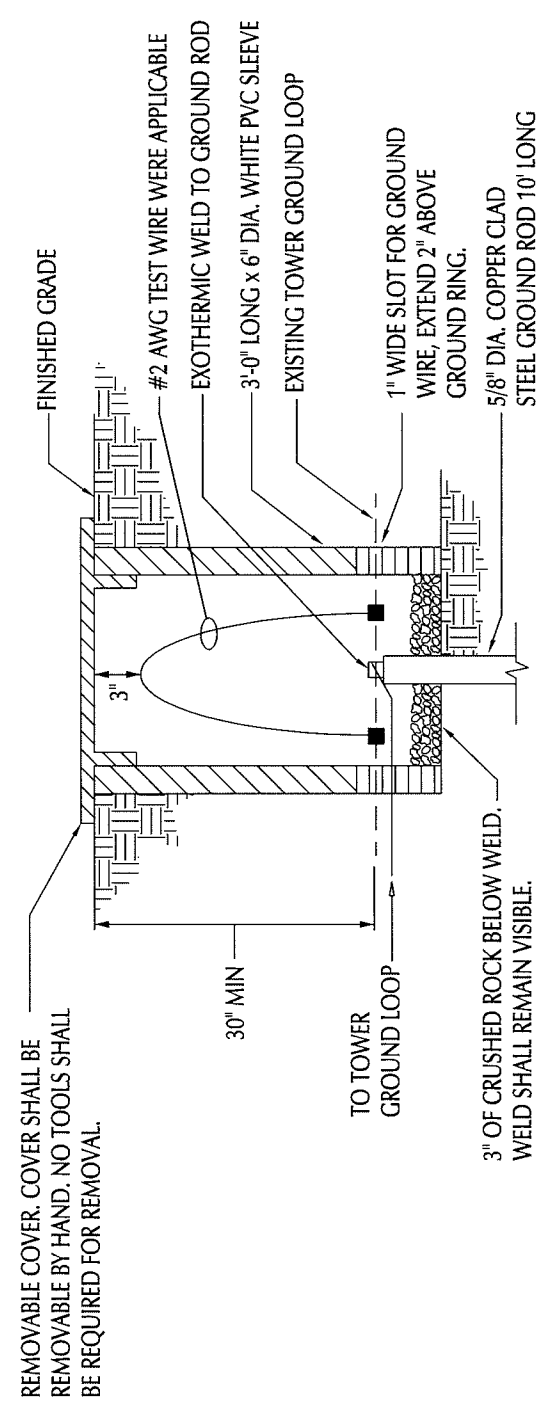
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ELECTRICAL SINGLE LINE DIAGRAM 51 E1



GROUND ROD DETAIL 49 E2



INSPECTION SLEEVE DETAIL 48 E2

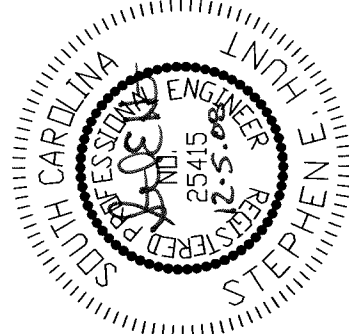
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OPTIMA TOWERS

SITE#: SC1019
LEESBURG ROAD

UTILITY CENTER
DETAILS

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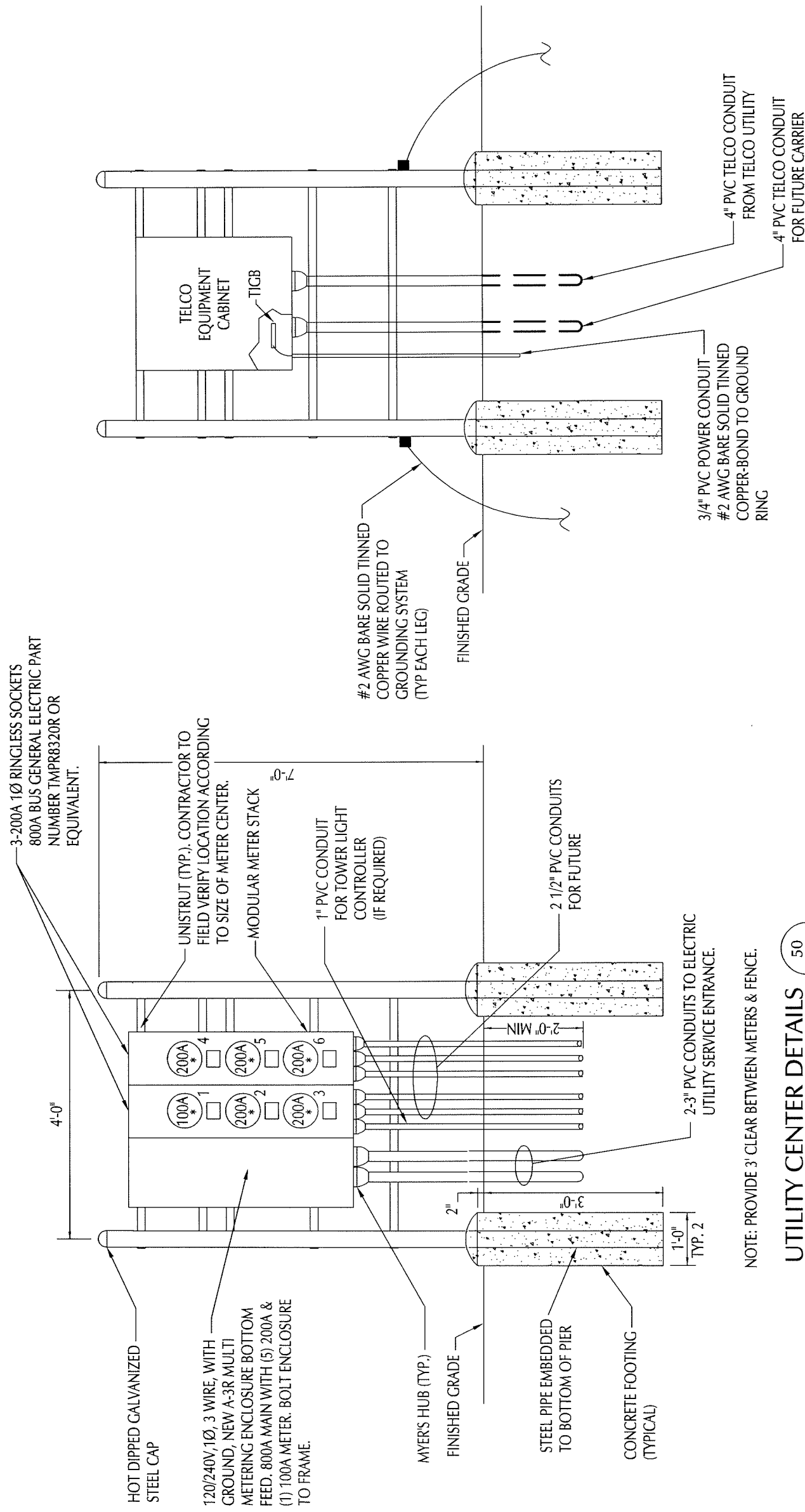
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PROJECT MGR: SEH

SHEET NUMBER: E6



NOTE: PROVIDE 3' CLEAR BETWEEN METERS & FENCE.

UTILITY CENTER DETAILS
NTS

50
E1

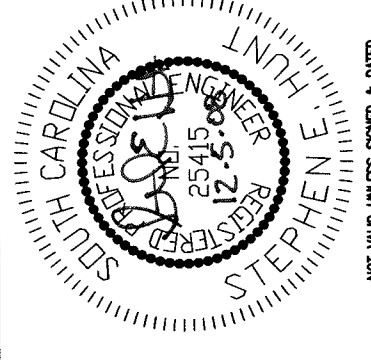
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OPTIMA TOWERS

SITE#: SC1019
LEESBURG ROAD

GROUNDING
SINGLE LINE

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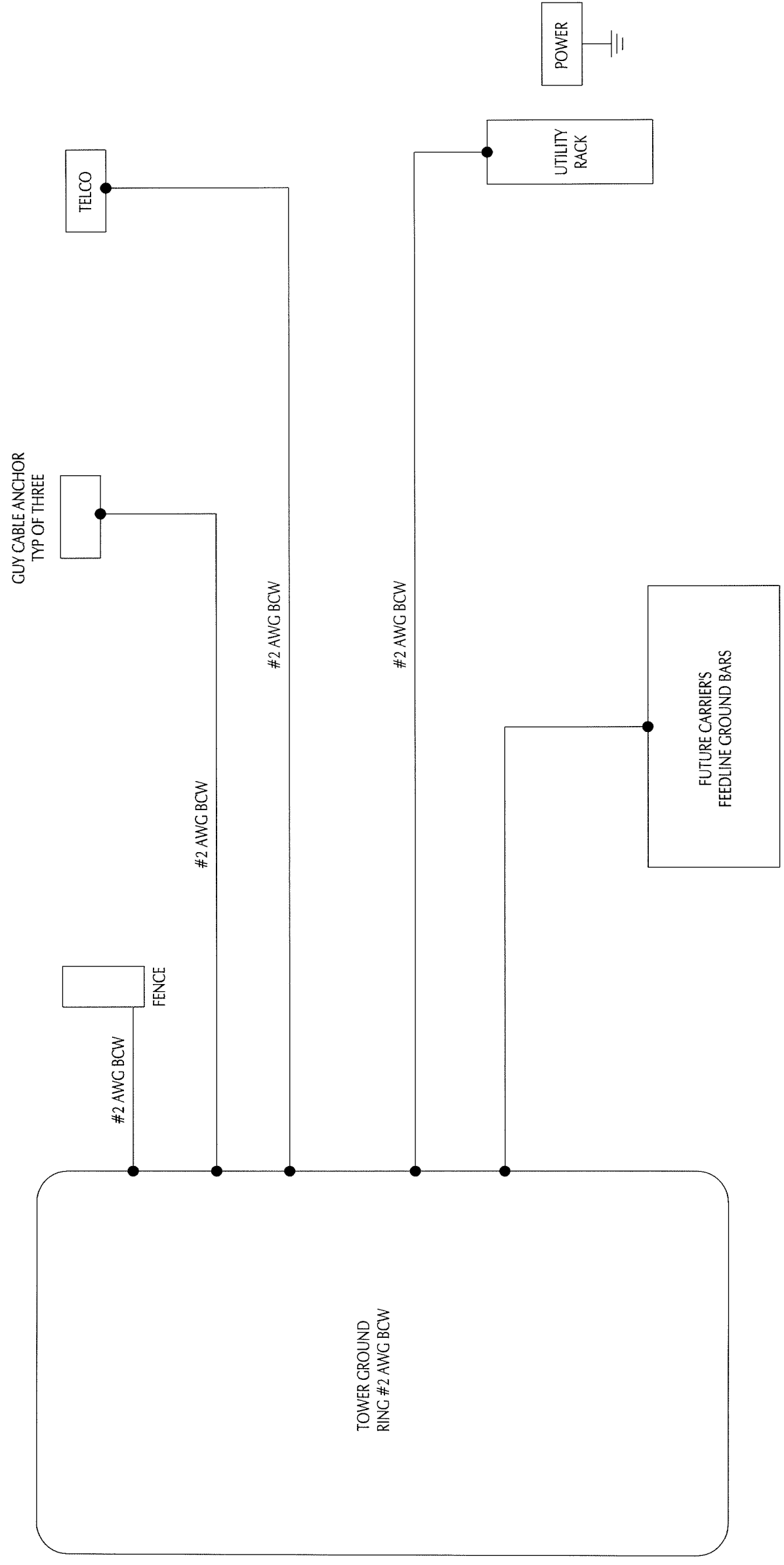
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PROJECT MGR: SEH

SHEET NUMBER: E7



GROUNDING SYSTEM SINGLE LINE DIAGRAM

NTS



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